

Date: March 18, 2020

Time: 6:00 p.m.

Place: TELECONFERENCE LOCATION:

Woodlake Community Center

145 North Magnolia

Woodlake, CA 93286

CALL IN OPTION NUMBER:

559-564-8055

In compliance with the Americans with Disabilities Act and the California Ralph M. Brown Act, if you need special assistance to participate in this meeting, including auxiliary aids, translation requests, or other accommodations, or to be able to access this agenda and documents in the agenda packet, please contact City Hall at 559-564-8055 at least 3 days prior to the meeting.

The full agenda including staff reports and supporting materials are available at City Hall.

I. CALL TO ORDER & WELCOME

II. PLEDGE OF ALLEGIANCE

III. PUBLIC COMMENTS

This portion of the meeting is reserved for persons wishing to address the Planning Commission on items within its jurisdiction but not on this agenda. NOTE: Prior to action by the Planning Commission on any item on this agenda, the public may comment on that item. Unscheduled comments may be limited to 3 minutes. The City conducts business in the English language only. If you need interpretative services, you will need to provide your own.

All items on the Consent Agenda are considered to be routine and non-controversial by Planning Commission staff and will be approved by one motion if no member of the Planning Commission or public wishes to comment or ask questions. Items pulled from the Calendar will be considered separately.

IV. CONSENT CALENDAR –ACTION AND INFORMATION ITEMS

Request Approval of the Consent Calendar Action Items (IV.A)

A. Action: Approval of Minutes of the regular meeting held on December 18, 2019

V. ACTION/DISCUSSION ITEMS

- A. Action: Adoption of Resolution: Approve Site Plan 20-002, Cypress and Kaweah Improvements
- B. Action: Adoption of Resolution: Approve Site Plan 20-003, Naranjo Oil Change and Carwash
- C. Action: Adoption of Resolution: Approve Site Plan 20-004, N. Palm Multi-Family Complex

VI. OTHER BUSINESS

- A. Information: Items from Staff
- B. Information: Items from Planning Commissioners
- C. Request from Planning Commissioners for Future Agenda Items

VII. ADJOURN

The next scheduled Planning Commission meeting will be held on Wednesday, April 15, 2020 (if needed) at 6:00 p.m. at City Council Chambers located at 145 North Magnolia, Woodlake, CA 93286.

Planning Commissioners:  
Chuck Mann - Vice Chair  
Johnny Varela  
Xavier Bocanegra  
Michael Navarro

**PRESENT:** Commissioners Mann, Navarro & Bocanegra

**OTHERS:** City Employees Lara, Waters and Zacarias

**ABSENT:** Varela

**MEETING CALLED TO ORDER AT 6:00 PM**

**PUBLIC COMMENTS – None**

IV. CONSENT CALENDAR –ACTION AND INFORMATION ITEMS

Request Approval of the Consent Calendar Action Items (IV.A)

A. Action: Approval of Minutes from December 4, 2019.

**ON A MOTION BY NAVARRO, SECOND BY BOCANEGERA IT WAS VOTED TO APPROVE THE MINUTES. APPROVED UNANIMOUSLY.**

V. ACTION/DISCUSSION ITEMS

A. Action: Adoption of Resolution: Recommending Approval of the Woodlake Reorganization Project to the Woodlake City Council

**PUBLIC HEARING**

Community Services Director Waters reported the following: The City intends to annex, amend the land use through a General Plan Amendment, and/or change the zone in five distinct areas, in and just north of the City of Woodlake. The City is also proposing a residential development within a portion of the site to be annexed for the construction of up to 90 residential units.

The City intends to annex, amend the land use through a General Plan Amendment (GPA), and/or change the zone in five distinct areas, as described below:

**Area A**

Area A consists of APN 057-060-028 and -029. The City intends to annex the 38-acre Area A into city limits, change the land use designation from “Agriculture” to “Low Density Residential”, give it a zone designation of R-1-10 and develop up to 90 single family units, as described in further detail under “Residential Development”.

**Area B**

These parcels along Valencia Blvd. are within the city limits and are currently zoned R-1-7 with a land use designation of “Very Low Density Residential”. These parcels will be rezoned to RA and the land use will be changed to “Low Density Residential”..

**Area C**

These parcels are designated as “Very Low Density Residential”. These parcels will be annexed into the city limits, zoned as RA and re-designated as “Low Density Residential”.

**Area D**

This parcel (APN 061-010-015) is currently within the SOI and designated as “Neighborhood Commercial”. This parcel will be annexed and zoned as Neighborhood Commercial. The land use designation will not change.

**Area E**

APN 061-010-016 is within the city limits with a current land use designation of Neighborhood Commercial, which will remain. The site currently is zoned as R-1-7 and will be rezoned as Neighborhood Commercial to match the land use designation.

**Residential Development**

The City is proposing a residential development within Area A for the development of up to 90 single-family residential units, as demonstrated in the conceptual site plan provided in Attachment 4. The development will hook up to City water and sewer and includes a stormwater basin to hold all storm drainage on-site.

The project consists of three separate actions:

The City is proposing to change the General Plan Land Use designations of Area A, Area B, and Area C.

Area	APNs	Current Land Use	Proposed Land Use
Area A	057-060-028, 057-060-029.	Agriculture	Low Density Residential
Area B	061-010-007, 061-010-017, 061-010-005, 061-010-004, 061-010-003, 061-010-002, 061-010-019, 061-010-020	Very Low Density Residential	Low Density Residential
Area C	061-010-008, 061-010-018, 061-010-010, 061-010-011, 061-010-012, 061-010-013, 061-010-014	Very Low Density Residential	Low Density Residential
Area D	061-010-015	Neighborhood Commercial	Neighborhood Commercial (No Change)
Area E	061-010-016	Neighborhood Commercial	Neighborhood Commercial (No Change)

### Zoning Amendments

The City is proposing to change the Zoning designations of Area A, Area B, Area C, Area D and Area E.

Area	APNs	Current Zoning	Proposed Zoning
Area A	057-060-028, 057-060-029.	AE- 20 (County)	R-1-10
Area B	061-010-007, 061-010-017, 061-010-005, 061-010-004, 061-010-003, 061-010-002, 061-010-019, 061-010-020	R-1-7	RA
Area C	061-010-008, 061-010-018, 061-010-010, 061-010-011, 061-010-012, 061-010-013, 061-010-014	AE-20 (County)	RA
Area D	061-010-015	AE-20 (County)	CN
Area E	061-010-016	R-1-7	CN

### Annexations

The City is proposing to Annex of Area A, Area C and Area D.

Area	APNs	Current Jurisdiction	Proposed Jurisdiction
Area A	057-060-028, 057-060-029.	2 Tulare County	City of Woodlake

Area B	061-010-007, 061-010-017, 061-010-005, 061-010-004, 061-010-003, 061-010-002, 061-010-019, 061-010-020	City of Woodlake	City of Woodlake (No Change)
Area C	061-010-008, 061-010-018, 061-010-010, 061-010-011, 061-010-012, 061-010-013, 061-010-014	Tulare County	City of Woodlake
Area D	061-010-015	Tulare County	City of Woodlake
Area E	061-010-016	City of Woodlake	City of Woodlake (No Change)

A Mitigated Negative Declaration was approved for the project and concluded that no significant environmental impacts will occur as a result of the Project.

**PUBLIC COMMENT OPENED: 6:05 PM**

Jeff Seaward, 20800 Avenue 352 Woodlake – Mr. Seaward asked if the value of his home would increase with the new development. City Administrator Lara stated yes.

Harold Liles, 577 Cajon, Woodlake – Mr. Liles asked if his property would be removed from the flood zone. City Administrator Lara stated no.

**PUBLIC COMMENT CLOSED 6:17 PM**

**ON A MOTION BY NAVARRO, SECOND BY BOCANEGRA IT WAS VOTED TO ADOPT THE RESOLUTION RECOMMEND APPROVAL OF THE WOODLAKE REORGANIZATION PROJECT. APPROVED UNANIMOUSLY.**

VI. OTHER BUSINESS

A. Information Items from Staff

NOTICE TO THE PUBLIC

As provided in the Ralph M. Brown Act, Government Code sections 54950 et seq., the Governing Board may meet in closed session with members of its staff and its attorneys. These sessions are not open to the public and may not be attended by members of the public. The matters the Council will meet on in closed session are identified below or are those matters appropriately identified in open session as requiring immediate attention and arising after the posting of the agenda. Any public reports of action taken in the closed session will be made in accordance with Government Code sections 54957.1

“Documents: If distributed to the Council less than 72 hours before a regular meeting, any public records which are subject to public inspection and pertain to an open-session item on the regular meeting agenda shall be available at the following address at the time they are distributed to a majority of the Council: 350 North Valencia Boulevard, Woodlake, California 93286. Public records distributed to the Council at a public meeting will be available to the public at such meeting if they were prepared by the City.

Exemptions and details in Government Code § 54957.5 (a) shall apply.”

VIII. ADJOURN

The next scheduled Planning Commission meeting TBD at 6:00 p.m. at City Council Chambers located at 145 N. Magnolia, Woodlake, CA 93286.

Planning Commissioners:

Chuck Mann - Chair

Johnny Varela

Xavier Bocanegra

Michael Navarro

Meeting adjourned at 6:22 PM

Submitted by,

Irene Zacarias

Planning Commissioner Secretary

# City of Woodlake

## **AGENDA ITEM V-A**

**March 18, 2020**

**Prepared by City Staff**

### **SUBJECT:**

**Action:** Adoption of Resolution: Approve Site Plan 20-002, Cypress and Kaweah Improvements, Subject to the Listed Conditions:

1. A landscaping and irrigation plans shall be provided and approved by the City. MWELo requirements shall be followed. Landscaping on Kaweah must match existing and adjacent landscaping.
2. Properties must connect to City water and sewer services
3. The buildings and improvements shall comply with R-1-7 zoning.
4. Owner must construct curb, gutter, and sidewalk improvements on each parcel. Improvements on the parcel with the existing home must be constructed concurrently or prior to the issuance of any permit on the other proposed homes.
5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if requested.
8. A streetlight must be provided on Cypress in a location to be determined by the City engineer.

### **BACKGROUND:**

The subject site is located on the northeast corner of Cypress and Kaweah. The subject property is currently vacant land and one single family home.

The zoning is R-1-7.

Surrounding land uses are as follows:

North: Single Family Homes  
South: Schools  
East: Single Family Homes  
West: Single Family Homes

### **DISCUSSION:**

The applicant is proposing to build two single family homes. The applicant has agreed to comply with City improvement standards for the construction of the homes. The attached site plan shows the location of the lots where the homes will be built.

The City is requiring the applicant to meet the conditions found in the resolution as part of the site plan.

**ENVIRONMENTAL DOCUMENT:**

The proposed activity will comply with CEQA.

**RECOMMENDATIONS:**

That the Woodlake Planning Commission approve Site Plan 20-002, Cypress and Kaweah Improvements, subject to the following conditions:

1. A landscaping and irrigation plans shall be provided and approved by the City. MWELo requirements shall be followed. Landscaping on Kaweah must match existing and adjacent landscaping.
2. Properties must connect to City water and sewer services
3. The buildings and improvements shall comply with R-1-7 zoning.
4. Owner must construct curb, gutter, and sidewalk improvements on each parcel. Improvements on the parcel with the existing home must be constructed concurrently or prior to the issuance of any permit on the other proposed homes.
5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if requested.
8. A streetlight must be provided on Cypress in a location to be determined by the City engineer.

**FISCAL IMPACT:**

There is no fiscal impact.

**ATTACHMENTS:**

1. Resolution: Approve Site Plan 20-002, Cypress and Kaweah subject to conditions
2. attachment No. 1: Site Plan



5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if requested.
8. A streetlight must be provided on Cypress in a location to be determined by the City engineer.

The foregoing resolution was adopted upon a motion of Commissioner , second by Commissioner , at a regular meeting of the Woodlake Planning Commission on the 18<sup>th</sup> day of March 2020, by the following roll call vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

\_\_\_\_\_  
Chuck Mann, Vice-Chair

ATTEST:

\_\_\_\_\_  
Irene Zacarias, Planning Commission Secretary

# CITY OF WOODLAKE PLANNING & DEVELOPMENT SERVICES DEPARTMENT PLANS FOR CONSTRUCTION OF PARCEL MAP NO. 20---



**BASIS OF BEARINGS:**

THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 12N, RANGE 12E, MERIDIAN TAKEN AS BEARING NORTH 89°59'05" EAST PER THE FINAL MAP OF TRACT NO. 5122, RECORDED IN VOLUME 69 OF PLATS, AT PAGES 15 AND 16, FRESNO COUNTY RECORDS.

**BENCHMARK:**

REF. NO. R.M. 1, INTERSECTION OF VALENCIA BLVD. AND CAJON AVENUE  
ELEVATION = 454.85

**SPECIAL NOTES:**

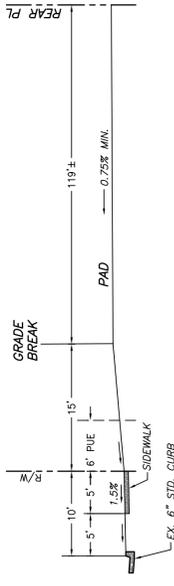
1. ALL IMPROVEMENTS SHALL BE PER CURRENT CITY OF WOODLAKE STANDARDS.
2. THE SUBDIVIDER AND CONTRACTOR SHALL MAINTAIN DUST CONTROL ABOUT THE SITE OF WORK.
3. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 7 DAYS PRIOR TO COMMENCING WORK SO THAT THE CITY MAY PRESERVE MONUMENTS AND BENCH MARKS, WHICH MAY NOT BE DISTURBED WITHOUT CONSENT FROM THE CITY.
4. ANY INSPECTION TO BE PERFORMED BY THE CITY SHALL REQUIRE 24 HOUR NOTICE.
5. ALL IMPORT FILL MATERIAL SHALL CONFORM TO THE MOST RECENT EDITION OF THE U.B.C. AND THE SPECIFICATIONS LISTED IN THE NOTIFICATION REPORT BY THE CITY. ALL COMPACTED FILL SHALL BE REFINED TO THE CITY'S SATISFACTION. ALL FILL ON CUT IN EXCESS OF 6" TO ADJACENT PROPERTY WILL REQUIRE A RETAINING WALL OR SLOPE EASEMENT.
6. ALL LOTS SHALL BE GRADED TO DRAIN TO THE STREET AT A MINIMUM 0.75% SLOPE. SEE CITY STANDARDS L-1 AND L-2 FOR LAYOUT OF TYPICAL LOT DRAINAGE.
7. ALL ASPHALT CONCRETE PAVING SHALL BE APPLIED TO DRY GROUND IN DRY WEATHER WITH TEMPERATURES ABOVE 50 DEGREES F. CONTRACTOR SHALL CONFORM TO THE STANDARDS OF THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS STANDARDS, SPECIFICATIONS, AND CITY OF WOODLAKE REQUIREMENTS.
8. ALL MANHOLE COVERS SHALL BE A MINIMUM OF 0.5' BELOW AGGREGATE BASE UNTIL COMPLETION OF PAVING.
9. DEPRESS CURBS AT ALL RETURNS, EXCEPT AT KNUCKLES, TO ALLOW HANDICAP RAMP CONSTRUCTION.
10. ALL TRENCHES BEHIND CURB AND GUTTER SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. ALL TRENCHES IN THE STREET AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
11. ALL SANITARY SEWER LATERALS SHALL BE EXTENDED 5' BEYOND PROPERTY LINE AND MARKED WITH A 2" HIGH "S" ON TOP OF CURB.
12. EXISTING IRRIGATION RISERS, IRRIGATION PIPE, AND SEPTIC SYSTEMS SHALL BE REMOVED.
13. LOCATION AND RELOCATION OF POWER POLES AND LOCATION AND REMOVAL OF IRRIGATION LINES AND RISERS SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND THE CONTRACTOR.
14. TREE ROOT SYSTEMS SHALL BE REMOVED TO A MINIMUM DEPTH OF 2 FEET AND WITHIN A RADIAL DISTANCE WHICH PERMITS REMOVAL OF ALL ROOTS LARGER THAN 1" DIAMETER WITHIN STREET RIGHT-OF-WAYS AND BUILDING AREAS.
15. ALL OAK TREES AND OAK TREE ROOT SYSTEMS SHALL BE PROTECTED FROM DAMAGE BY NOT CUTTING ANY ROOTS WITHIN THE PROTECTED ZONE. CONTRACTOR SHALL PROTECT ALL TRUNKS AND BRANCHES OF OAK TREES FROM DAMAGE BY TRUNK UTILITIES SHALL NOT BE LOCATED WITHIN THE DRAPLINE OF OAK TREES UNLESS APPROVED BY THE CITY ENGINEERING DEPARTMENT. PROMOTE OAK TREE PROTECTION AND MAINTENANCE PER CITY REQUIREMENTS DURING CONSTRUCTION.
16. INSTALL APPROVED TRAFFIC CONTROL SIGNS PRIOR TO ANY WORK.
17. ALL WELLS SHALL BE ABANDONED PER CITY OF WOODLAKE REQUIREMENTS. A BUILDING PERMIT SHALL BE OBTAINED FOR THE ABANDONMENT PRIOR TO STARTING WORK.
18. THE SUBDIVIDER AND CONTRACTORS SHALL INSTALL AND MAINTAIN PROTECTIVE AROUND STORM INLETS DURING CONSTRUCTION TO PREVENT INFLTRATION OF MUD AND DIRT INTO THE STORM DRAIN SYSTEM.
19. CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH ARE NECESSARY TO THE ACCURATE LOCATION OF THE PROPERTY. CONTRACTOR SHALL PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTOR'S WORK. CONTRACTORS SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH CONTRACTOR TO RESET MONUMENTS, OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 6771.
20. ALL CURVED STREETS SHALL HAVE CONSTRUCTION STAKING AT 25'.  
EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHETTED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.

**SHEET INDEX**

NO.	DESCRIPTION
1.	COVER SHEET
2.	GRADING AND DRAINAGE PLAN
3.	STORM WATER POLLUTION PREVENTION PLAN
4.	UTILITY PLAN
5.	DETAILS AND STANDARD DRAWINGS

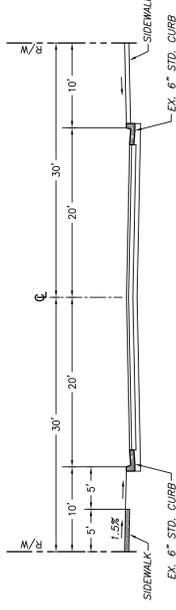
**LEGEND:**

EP	EDGE OF PAVEMENT
P	PAVEMENT
D	DIRT
FL	FLOWLINE
C	CONCRETE
TC	TOP OF CURB
G	GUTTER
TOE	TOP OF DIRT BANK
TDE	TDE OF DIRT BANK
RM	RM OF MANHOLE
WV	WATER VALVE
TW	TOP OF WALL ELEVATION
P/W	EXISTING RIGHT OF WAY
GB	GRADE BREAK
CL	CENTERLINE
STD.	STANDARD
ETC	ETC
EFL	EXISTING GUTTER OR PIPE FLOW LINE ELEVATION
PL	PROPERTY LINE

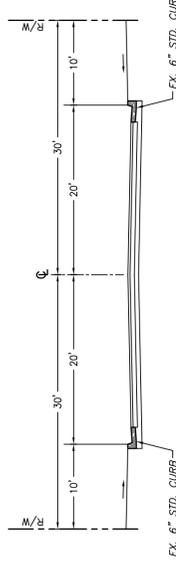


**TYPICAL LOT SECTION**

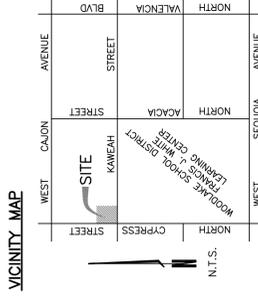
FINISH LOT GRADING SHALL COMPLY WITH 2016 UBC SECTIONS 1804.7, 1806.5.5 AND APPENDIX CHAPTER 33 SECTION 3315.4 AND CITY OF WOODLAKE STANDARD L-1 AND L-2, WHICHEVER IS MORE RESTRICTIVE. MINIMUM FINISH FLOOR FOR PARCELS B AND C SHALL BE 18" ABOVE HIGHEST TOP OF CURB FRONTING PARCEL.



**KAWEAH STREET SECTION**



**NORTH CYPRESS STREET SECTION**



REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISIONS	
DATE	
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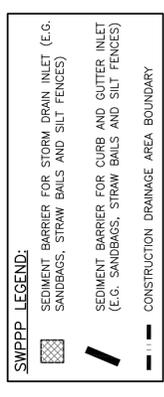
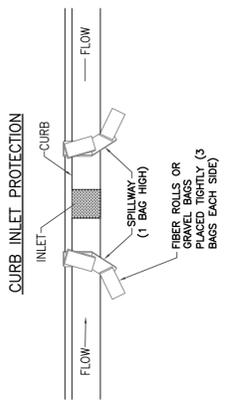
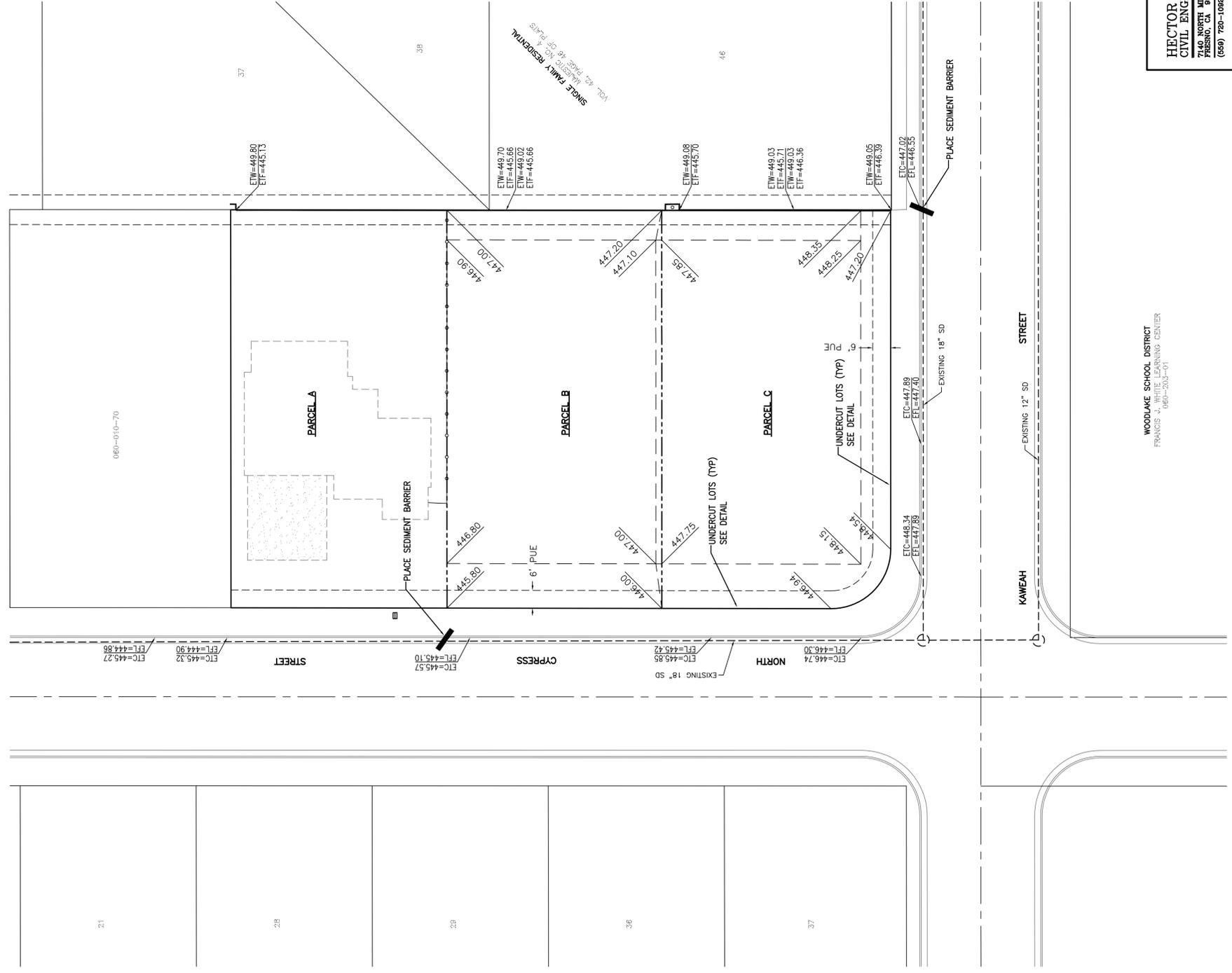
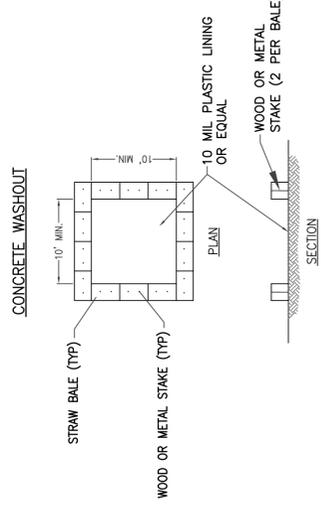
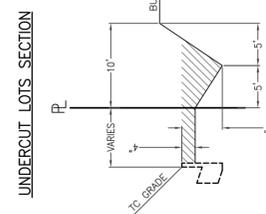
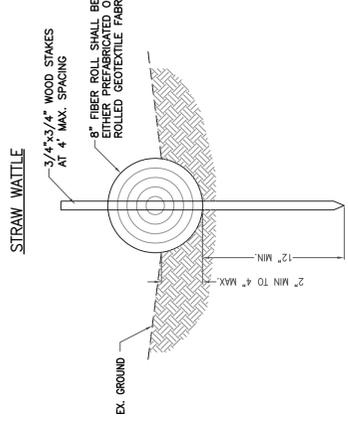
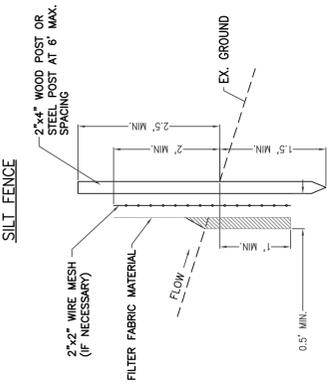
**HECTOR YAHUITL-LINARES**  
CIVIL ENGINEER  
1405 NORTH WILBUR AVENUE  
FRESNO, CA 93722  
(559) 720-1082

DATE: 01/23/20

<b>CITY OF WOODLAKE</b>	
PROJECT TITLE	PARCEL MAP NO.
SHEET DESCRIPTION	COVER SHEET
PM NO.	1 OF 5

APR 082-02-89  
SUBDIVIDER:  
SANTAGO ARELLANO  
CIVIL ENGINEER  
CULPEP, CA 93815





**SWPPP NOTES:**

1. SEDIMENT BARRIERS SHALL BE IN PLACE THROUGHOUT CONSTRUCTION ON-SITE AND OFF-SITE.
2. SEDIMENT BARRIERS FOR NEW CURB AND GUTTER SHALL BE PLACED ONCE CONCRETE HAS CURED.
3. PROPOSED STORM DRAIN INLETS SHALL BE MAINTAINED FOR PROPER CONTAMINANT AND DISPOSAL.
4. WASTE BINS SHALL BE KEPT COVERED AT ALL TIMES TO PREVENT LEACHATE OF WASTE FROM RAINFALL AND TO PREVENT REFUSE FROM ESCAPING.
5. MATERIAL STORAGE AREAS SHALL BE LOCATED ON SITE BY THE OWNER/OWNER'S REPRESENTATIVE. THE AREA SHALL BE BERMED AND COVERED.
6. FUELING AREAS SHALL BE LOCATED ON SITE BY THE OWNER/OWNER'S REPRESENTATIVE. THE FUELING AREAS SHALL BE KEPT COVERED AT ALL TIMES EXCEPT WHEN FUELING.
7. STOCK PILES OF NATIVE SOIL SHALL BE KEPT AWAY FROM EXISTING INLETS.
8. THE PRESERVATIVE SHALL HAVE IN PLACE A SAMPLING AND ANALYSIS PROGRAM TO MONITOR ANY POSSIBLE POLLUTANTS GENERATED FROM THE SITE.
9. SEDIMENT SHALL BE SWEEP OR VACUUMED FROM PAVED AREAS.
10. THE TRACKING OF SEDIMENT ON AND OFF SITE SHALL BE MONITORED AS FAR AS POSSIBLE AND BE MAINTAINED FOR PROPER CONTAMINANT AND DISPOSAL.
11. THE SITE SHALL BE KEPT CLEAN OF LITTER AND WASTE.
12. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR HAZARDOUS MATERIALS AND WASTE. HAZARDOUS MATERIALS AND WASTE SHALL BE KEPT COVERED.
13. POSTS INDICATING DESIGNATED AREAS OF CONTAMINANT MUST BE POSTED.
14. AFTER CONCRETE CURBS ARE IN PLACE, THE AREA BEHIND CONCRETE CURBS SHALL BE GRADED TO PREVENT SEDIMENT FROM DISCHARGING OVER CURBS.

**CITY OF WOODLAKE** • **PLANNING AND DEVELOPMENT SERVICES**

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**HECTOR YAHUITL-LINARES**  
 CIVIL ENGINEER  
 7410 MARKET STREET AVENUE  
 PASADENA, CA 91722  
 (659) 720-1082

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**PARCEL MAP NO. 20**

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**EROSION CONTROL PLAN**

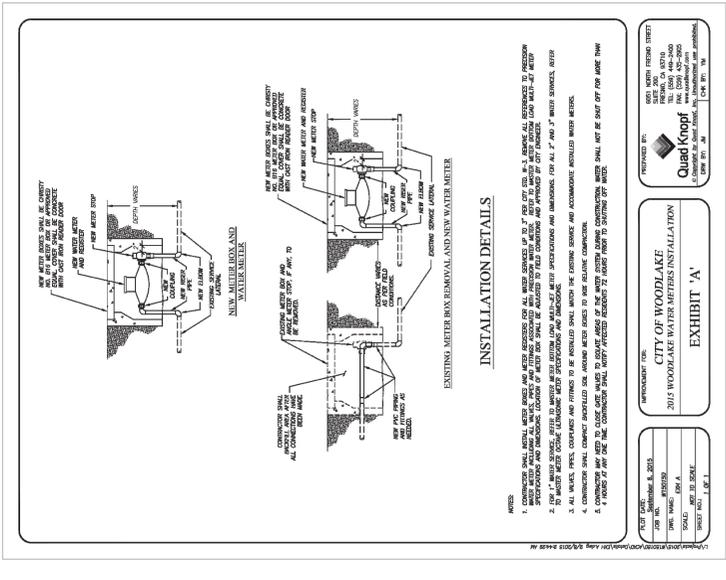
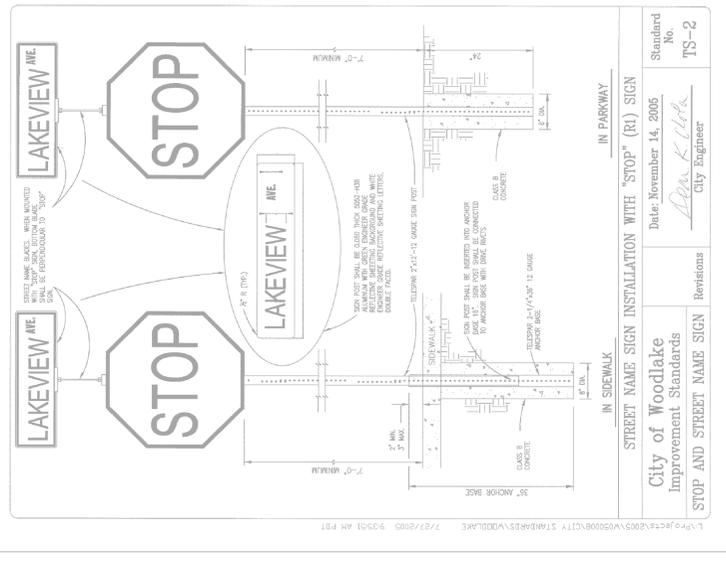
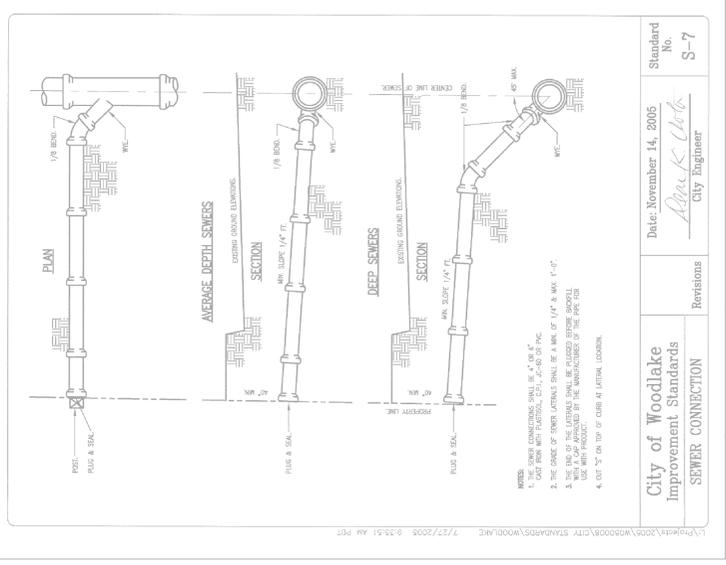
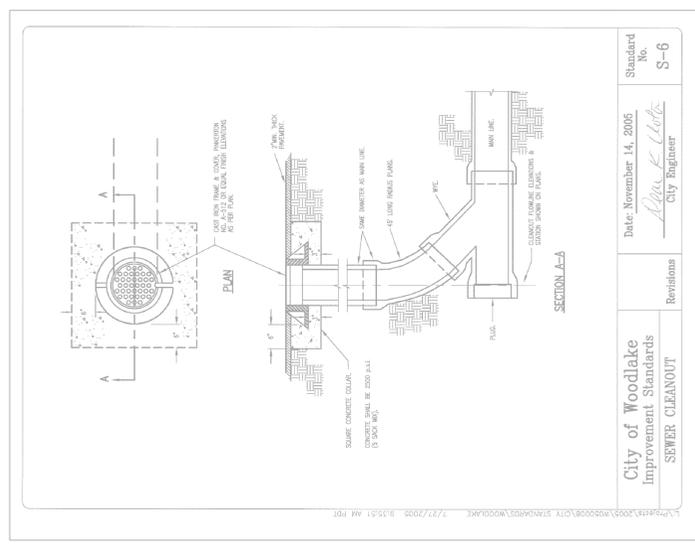
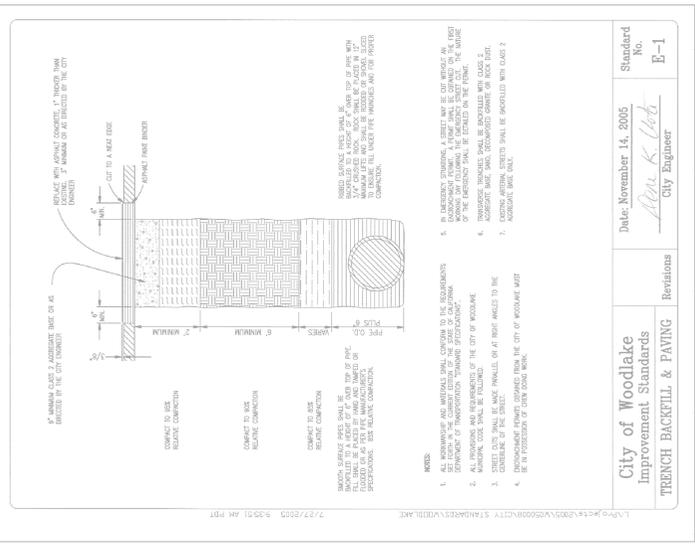
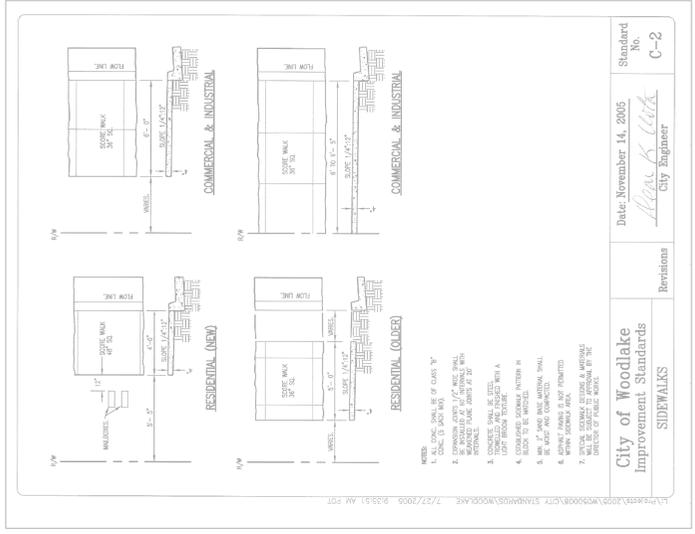
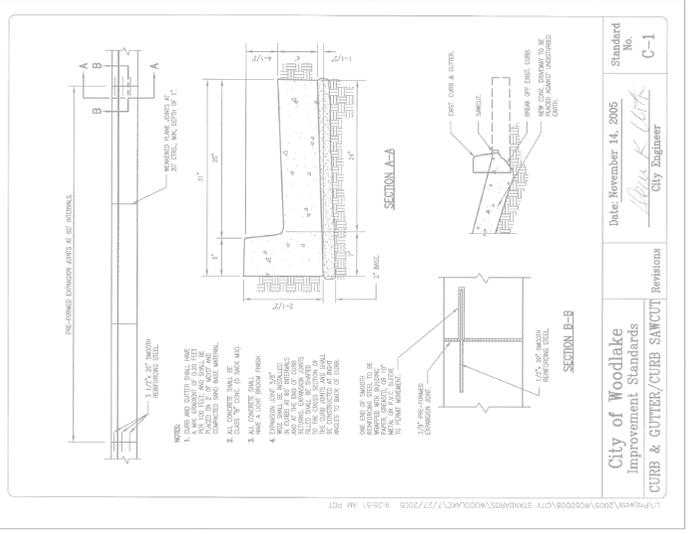
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PM NO. \_\_\_\_\_  
 SHEET NO. **3 OF 5**

WOODLAKE SCHOOL DISTRICT  
 FRANCIS J. WHITE LEARNING CENTER  
 400-233-01

BAKERFIELD 2024 COMPANY SUBMISSION  
 VCL 20, PAGE 5 OF PLANS  
 SINGLE FAMILY RESIDENTIAL





# City of Woodlake

## **AGENDA ITEM V-B**

**March 18, 2020**

**Prepared by City Staff**

### **SUBJECT:**

**Action:** Adoption of Resolution: Approve Site Plan 20-003 Naranjo Oil Change and Carwash, Subject to the Listed Conditions:

1. A landscaping and irrigation plan shall be provided and approved by the City. MWELo requirements shall be followed.
2. A grading and drainage plan showing how the storm water will be handled for the site shall be provided and approved by the City. Storm drain will connect to City Storm Water System.
3. The building shall comply with the Woodlake DD-X overlay zone.
4. The subject site shall be well maintained by insuring that the landscaping is effectively watered, mowed, pruned, fertilized, and weeded; that the signs are properly lighted and painted; that the irrigation system is periodically checked to insure against leaks, over spray, and watering times that are not conservation effective; and that the parking lot and driveways shall be properly paved and stripped.
5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements including fire sprinklers, if necessary, and back flow preventers.
7. The center line on Naranjo Blvd. shall meet Caltrans' requested location.
8. The applicant shall post "No Parking" signs along Naranjo in a manner that meets the California Manual on Uniform Traffic Control Devices (CA MUTCD).
9. Streetlight shall be provided on Naranjo Blvd. in locations requested by the City. Streetlights along Naranjo shall meet the downtown design standards.
10. Sidewalks along Naranjo shall meet the downtown decorative design standards.
11. All signs shall comply with Woodlake's sign ordinance and must be approved by the City's design committee.
12. A drive approach shall be added on Naranjo Blvd., in line with Walnut Street.
13. Curb shall be placed between all areas where landscaping abuts paved asphalt.
14. The applicant shall connect to City sewer and water.
15. The applicant shall comply with all comments and recommendations from Caltrans.

## **BACKGROUND**

The project is located on the southside of Naranjo Blvd. at the intersection of Walnut Street and Naranjo Boulevard between Autozone and Green Bean.

The subject property is currently vacant land.

The current zoning is Service Commercial

Surrounding land uses are as follows:

North: Walnut Street, Residences  
South: Vacant Land, Future Residential  
East: Autozone Commercial Building  
West: Green Bean Pharm

## **DISCUSSION:**

The applicant is proposing to build an oil change and carwash. The attached site plan shows the location of the improvements and the lots.

The City is requiring the applicant to meet the conditions found in the resolution as part of the site plan.

## **ENVIRONMENTAL DOCUMENT:**

If needed, the proposed activity will require that applicant to comply with CEQA.

## **RECOMMENDATIONS:**

That the Woodlake Planning Commission approve Site Plan 20-003, Naranjo Carwash and Oil Change, subject to the following conditions:

1. A landscaping and irrigation plan shall be provided and approved by the City. MWELo requirements shall be followed.
2. A grading and drainage plan showing how the storm water will be handled for the site shall be provided and approved by the City. Storm drain will connect to City Storm Water System.
3. The building shall comply with the Woodlake DD-X overlay zone.
4. The subject site shall be well maintained by insuring that the landscaping is effectively watered, mowed, pruned, fertilized, and weeded; that the signs are properly lighted and painted; that the irrigation system is periodically checked to insure against leaks, over spray, and watering times that are not conservation effective; and that the parking lot and driveways shall be properly paved and stripped.
5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements including fire sprinklers, if necessary, and

back flow preventers.

7. The center line on Naranjo Blvd. shall meet Caltrans' requested location.
8. The applicant shall post "No Parking" signs along Naranjo in a manner that meets the California Manual on Uniform Traffic Control Devices (CA MUTCD).
9. Streetlight shall be provided on Naranjo Blvd. in locations requested by the City. Streetlights along Naranjo shall meet the downtown design standards.
10. Sidewalks along Naranjo shall meet the downtown decorative design standards.
11. All signs shall comply with Woodlake's sign ordinance and must be approved by the City's design committee.
12. A drive approach shall be added on Naranjo Blvd., in line with Walnut Street.
13. Curb shall be placed between all areas where landscaping abuts paved asphalt.
14. The applicant shall connect to City sewer and water.
15. The applicant shall comply with all comments and recommendations from Caltrans.

**FISCAL IMPACT:**

There is no fiscal impact.

**ATTACHMENTS:**

1. Resolution: Approve Site Plan 20-003, Naranjo Carwash and Oil Change, subject to conditions
2. Attachment No. 1 -: Site Plan



times that are not conservation effective; and that the parking lot and driveways shall be properly paved and stripped.

5. All improvements shall meet ADA compliance.
6. All buildings shall meet current fire code requirements including fire sprinklers, if necessary, and back flow preventers.
7. The center line on Naranjo Blvd. shall meet Caltrans' requested location.
8. The applicant shall post "No Parking" signs along Naranjo in a manner that meets the California Manual on Uniform Traffic Control Devices (CA MUTCD).
9. Streetlight shall be provided on Naranjo Blvd. in locations requested by the City. Streetlights along Naranjo shall meet the downtown design standards.
10. Sidewalks along Naranjo shall meet the downtown decorative design standards.
11. All signs shall comply with Woodlake's sign ordinance and must be approved by the City's design committee.
12. A drive approach shall be added on Naranjo Blvd., in line with Walnut Street.
13. Curb shall be placed between all areas where landscaping abuts paved asphalt.
14. The applicant shall connect to City sewer and water.
15. The applicant shall comply with all comments and recommendations from Caltrans

The foregoing resolution was adopted upon a motion of Commissioner \_\_\_\_\_ second by Commissioner \_\_\_\_\_, at a regular meeting of the Woodlake Planning Commission on the 18<sup>th</sup> day of March 2020, by the following roll call vote:

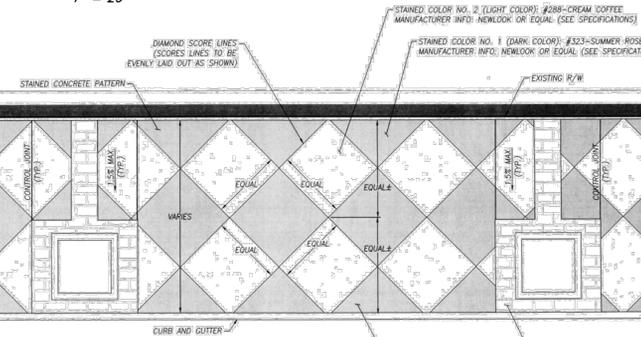
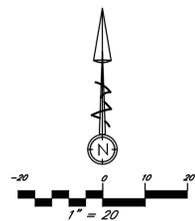
AYES:  
NOES:  
ABSTAIN:  
ABSENT:

\_\_\_\_\_  
Chuck Mann, Vice-Chair

ATTEST:

\_\_\_\_\_  
Irene Zacarias, Planning Commission Secretary

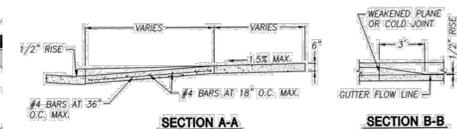
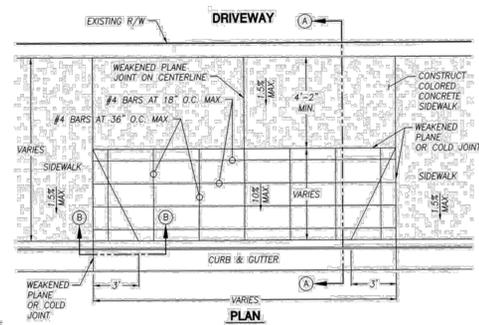
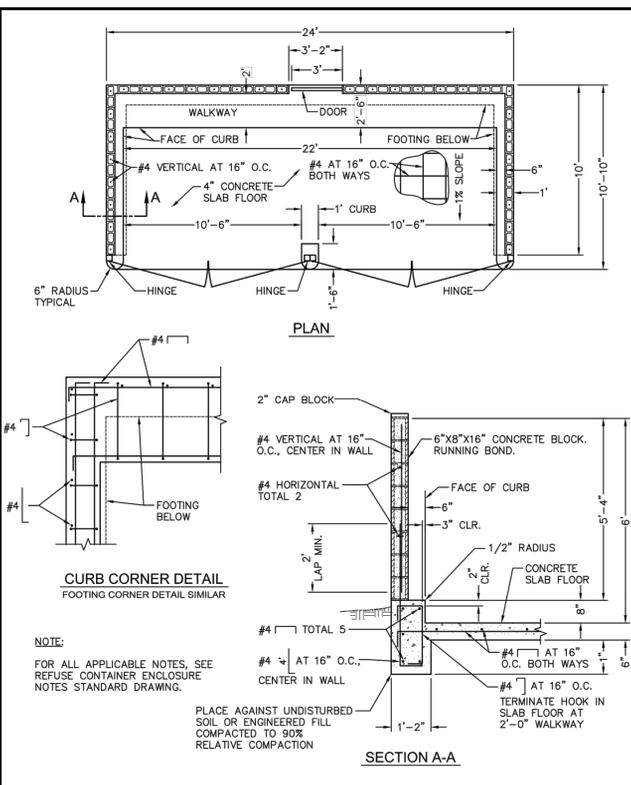
**LEGEND:**



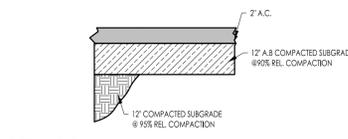
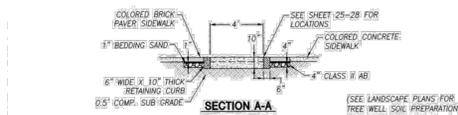
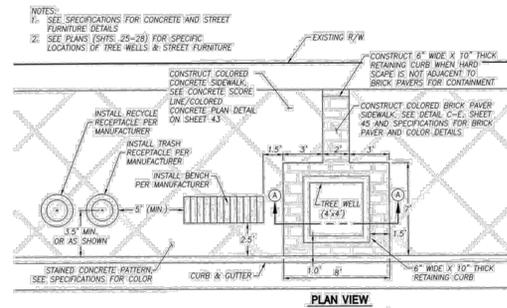
NOTE:  
PER CALTRANS STATE STANDARD SPECIFICATIONS, CONSTRUCT EXPANSION JOINTS AT ALL RETURNS AND OPPOSITE OF EXPANSION JOINTS IN ADJACENT CURB  
CONSTRUCT CONTRACTION JOINTS TO CREATE 12-TO-20-SQUARE FOOT RECTANGULAR PATTERNS INTO THE SURFACE OF SIDEWALKS

**TYPICAL CONCRETE SCORE LINE/  
COLORED CONCRETE PLAN DETAIL**

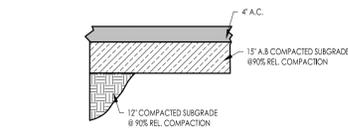
SCALE: 1" = 4"



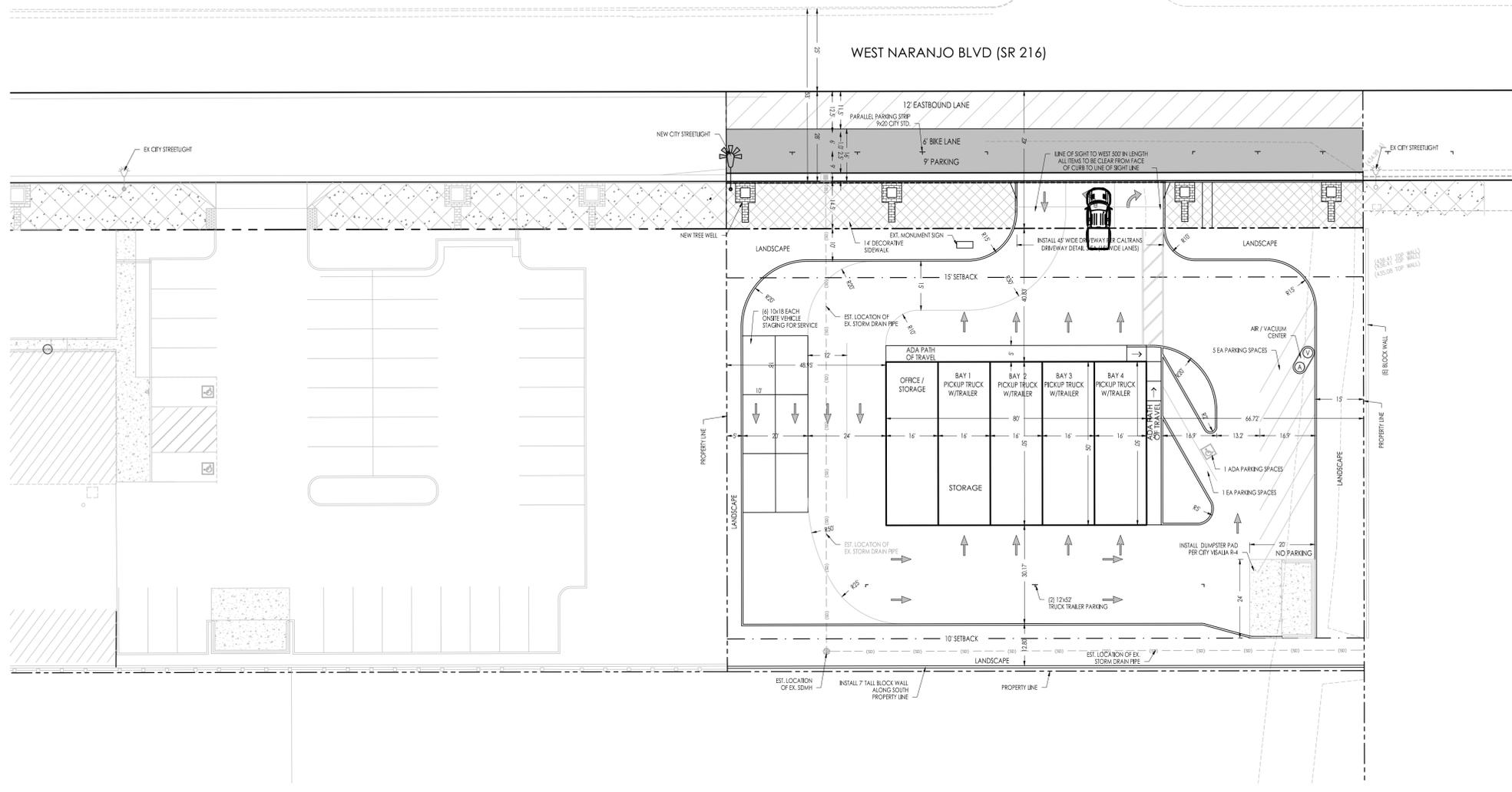
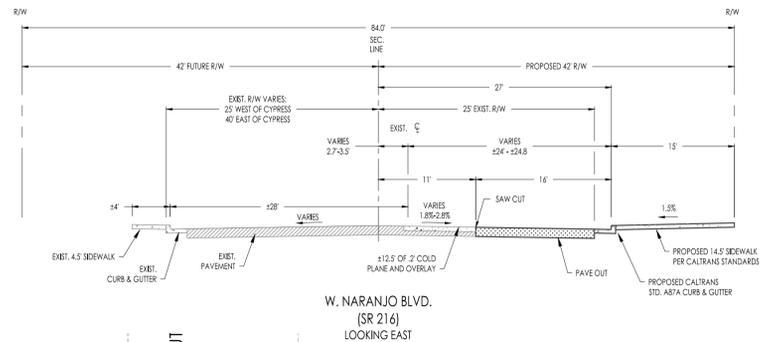
- NOTES:**
1. REINFORCING BARS SHALL BE FORMED STEEL BARS AND SHALL BE GRADE 40 MINIMUM. REINFORCING BARS SHALL BE FREE OF RUST OR DIRT AND SHALL BE THOROUGHLY CLEANED BEFORE PLACEMENT.
  2. REINFORCING BARS SHALL HAVE A MINIMUM OF 2" CLEAR COVERAGE.
  3. CONCRETE BEHIND DRIVE APPROACH SHALL BE 6" THICK SIDEWALK



**DETAIL "A"**  
T.I = 5.0 R-VALUE = 5  
SCALE = N.T.S.



**DETAIL "B"**  
T.I = 6.5 R-VALUE = 5  
SCALE = N.T.S.



**SITE PLAN**

REVISIONS	REV. BY	DATE

APPROVED  
Jesse Allen Williams R.C.E. 64742



724 N. BEN MADDOX  
WAY SUITE "A"  
(559) 967-8089

**NEW CAR WASH FACILITY**

SCALE: 1" = 20'  
JOB #: 19226  
DRAWN BY: JAWII  
FLOOD ZONE: "X"  
SHEET 1 OF 3 SHEETS

# City of Woodlake

## **AGENDA ITEM V-C**

**March 18, 2020**

**Prepared by City Staff**

### **SUBJECT:**

**Action:** Adoption of Resolution: Approve Site Plan 20-004 and Variance 20-001, North Palm Multifamily Complex, Subject to the Listed Conditions:

1. A landscaping and irrigation plan shall be provided and approved by the City. MWELo requirements shall be followed.
2. Properties must connect to City water and sewer services
3. The buildings and improvements shall comply with R-3 zoning.
4. Owner must construct sidewalk improvements on the parcel.
5. All improvements and buildings shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if requested.
7. A trash enclosure must be provided.
8. Fencing should comply with city improvement standards and must be consistent with R-3 design standards including wrought iron fencing along Palm. Prior to installation, the City will approve fencing materials and locations.
9. A lighting plan showing the location of lights in the proposed parking area and in the complex must be provided.
10. New and existing structures must have similar design features and must complement each other.
11. ADA parking spots must provide access to ADA vans.
12. Building elevations must be provided prior to the issuance of permits.
13. Pedestrian access must be available from the alley.
14. Parking should be reconfigured to allow for spots to face north and south, instead of east. A smaller drive approach would be required with this reconfiguration.
15. Fire sprinklers must be installed in all units, including the existing multifamily unit.

## **BACKGROUND:**

The subject site is located on North Palm between Lakeview and Antelope Avenues. The subject property is currently vacant land and with one apartment building.

The zoning is RM-3.

Surrounding land uses are as follows:

North: Single Family Homes  
South: Single Family Homes  
East: Commercial Businesses/Woodlake Downtown  
West: Single Family Homes

## **DISCUSSION:**

The applicant is proposing to build two multifamily units and repair an existing multifamily unit. The project also includes the construction of sidewalks within the complex, a parking lot, fencing, a drive approach, and lighting.

The project also needs a variance because it does not meet setback requirements between buildings (10 feet) and between the rear property line (15 feet). As proposed, there is a 6-foot setback between the buildings and a 7-foot setback from the rear property line. As a conditional of approval of the variance, the City is requiring fire sprinklers in the existing unit.

The City is requiring the applicant to meet the conditions found in the resolution as part of the site plan.

## **ENVIRONMENTAL DOCUMENT:**

The proposed activity will comply with CEQA.

## **RECOMMENDATIONS:**

That the Woodlake Planning Commission approve Site Plan 20-004, North Palm Multifamily Complex and Variance 20-001 subject to the following conditions:

1. A landscaping and irrigation plan shall be provided and approved by the City. MWELo requirements shall be followed.
2. Properties must connect to City water and sewer services
3. The buildings and improvements shall comply with R-3 zoning.
4. Owner must construct sidewalk improvements on the parcel.
5. All improvements and buildings shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if

requested.

7. A trash enclosure must be provided.

8. Fencing should comply with city improvement standards and must be consistent with R-3 design standards including wrought iron fencing along Palm. Prior to installation, the City will approve fencing materials and locations.

9. A lighting plan showing the location of lights in the proposed parking area and in the complex must be provided.

10. New and existing structures must have similar design features and must complement each other.

11. ADA parking spots must provide access to ADA vans.

12. Building elevations must be provided prior to the issuance of permits.

13. Pedestrian access must be available from the alley.

14. Parking should be reconfigured to allow for spots to face north and south, instead of east. A smaller drive approach would be required with this reconfiguration.

15. Fire sprinklers must be installed in all units, including the existing multifamily unit.

**FISCAL IMPACT:**

There is no fiscal impact.

**ATTACHMENTS:**

1. Resolution: Approve Site Plan 20-004, North Palm Multifamily subject to conditions
2. Attachment No. 1: North Palm Multifamily Units

BEFORE THE PLANNING COMMISSION  
OF THE CITY OF WOODLAKE  
COUNTY OF TULARE  
STATE OF CALIFORNIA

In the matter of:

APPROVING THE SITE PLAN 20-004	)	
NORTH PALM MULTIFAMILY	)	Resolution No. 20-
COMPLEX & VARIANCE 20-001	)	

Commissioner      offered the following resolution and moved its adoption. Approve Site Plan 20-004 North Palm Multifamily Complex and Variance 20-001.

WHEREAS, the applicant is proposing to build a multifamily complex on North Palm between Lakeview and Antelope Avenues; and

WHEREAS, the proposed request has been processed consistent with Chapter 54, Site Plan Review, of the Woodlake Zoning Ordinance, and

WHEREAS, the Site Plan Committee has reviewed the site plan for the proposed buildings and has determined that it is consistent with requirements of the RM-3 zone, and

WHEREAS, a Variance is needed because the proposed project does not meet rear setbacks or setback requirements between buildings, and

WHEREAS, upon review of the project the Site Plan Review Committee has recommended approval of Site Plan 20-004 subject to conditions to the Planning Commission, and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission, after considering all the evidence presented, determined the following findings were relevant in evaluating this project:

1. The project will meet the requirements of the California Environmental Quality Act.
2. The proposed use is consistent with the Woodlake General Plan, Land Use Element.
3. The project will not have an adverse impact on the health, safety or welfare of the community or immediate neighborhood.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves Site Plan Permit 20-004, North Palm Multifamily Complex and Variance 20-001, subject to the following conditions.

1. A landscaping and irrigation plan shall be provided and approved by the City. MWELo requirements shall be followed.
2. Properties must connect to City water and sewer services
3. The buildings and improvements shall comply with R-3 zoning.

4. Owner must construct sidewalk improvements on the parcel.
5. All improvements and buildings shall meet ADA compliance.
6. All buildings shall meet current fire code requirements, including hydrant installation, if requested.
7. A trash enclosure must be provided.
8. Fencing should comply with city improvement standards and must be consistent with R-3 design standards including wrought iron fencing along Palm Streets. Prior to installation, the City will approve fencing materials and locations.
9. A lighting plan showing the location of lights in the proposed parking area and in the complex must be provided.
10. New and existing structures must have similar design features and must complement each other.
11. ADA parking spots must provide access to ADA vans.
12. Building elevations must be provided prior to the issuance of permits.
13. Pedestrian access must be available from the alley.
14. Parking should be reconfigured to allow for spots to face north and south, instead of east. A smaller drive approach would be required with this reconfiguration.
15. Fire sprinklers must be installed in all units, including the existing multifamily unit.

The foregoing resolution was adopted upon a motion of Commissioner , second by Commissioner , at a regular meeting of the Woodlake Planning Commission on the 18<sup>th</sup> day of March 2020, by the following roll call vote:

AYES:  
NOES:  
ABSTAIN:  
ABSENT:

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Chuck Mann, Vice-Chair

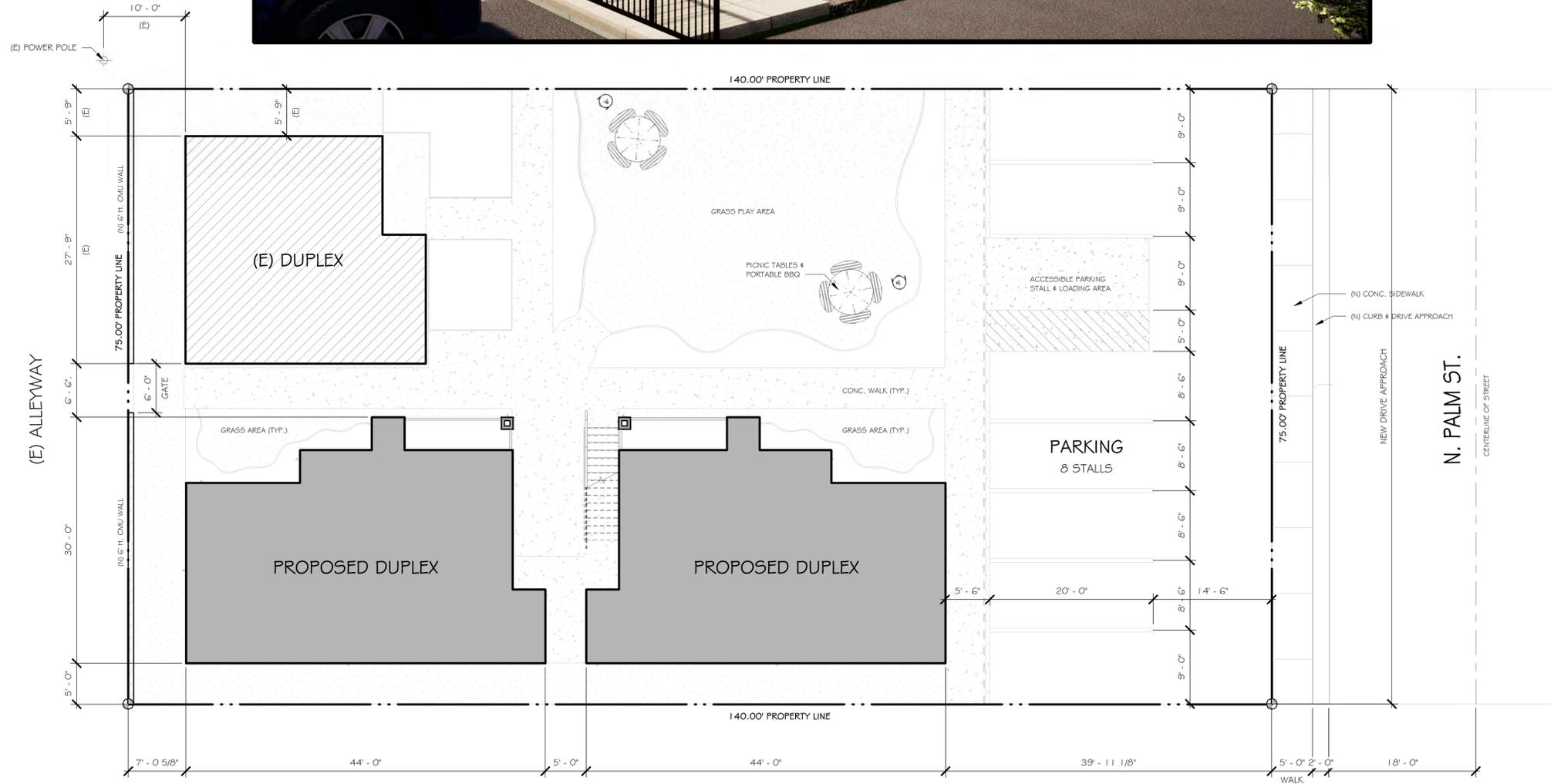
ATTEST:

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Irene Zacarias, Planning Commission Secretary



# 278 N. PALM STREET



SITE PLAN

1/8" = 1'-0" NORTH

SHEET INDEX	
Sht No.	Sheet Name

A100	SITE PLAN
A200	FLOOR PLAN
A300	EXTERIORS

LOT DESCRIPTION	
A.P.N.	060-104-002
ADDRESS:	278 N. PALM ST.
LOCATION:	WOODLAKE, CA
SEISMIC DESIGN CATEGORY:	"D"

PROJECT DESCRIPTION	
•	NEW WOOD FRAMED APARTMENT COMPLEX

UTILITIES	
ELECTRICAL	S.C.E.
WATER	City of Woodlake
WASTE	City of Woodlake
GAS	City of Woodlake

Rev.	Date	Description
A	3/7/2020	CLIENT REVIEW

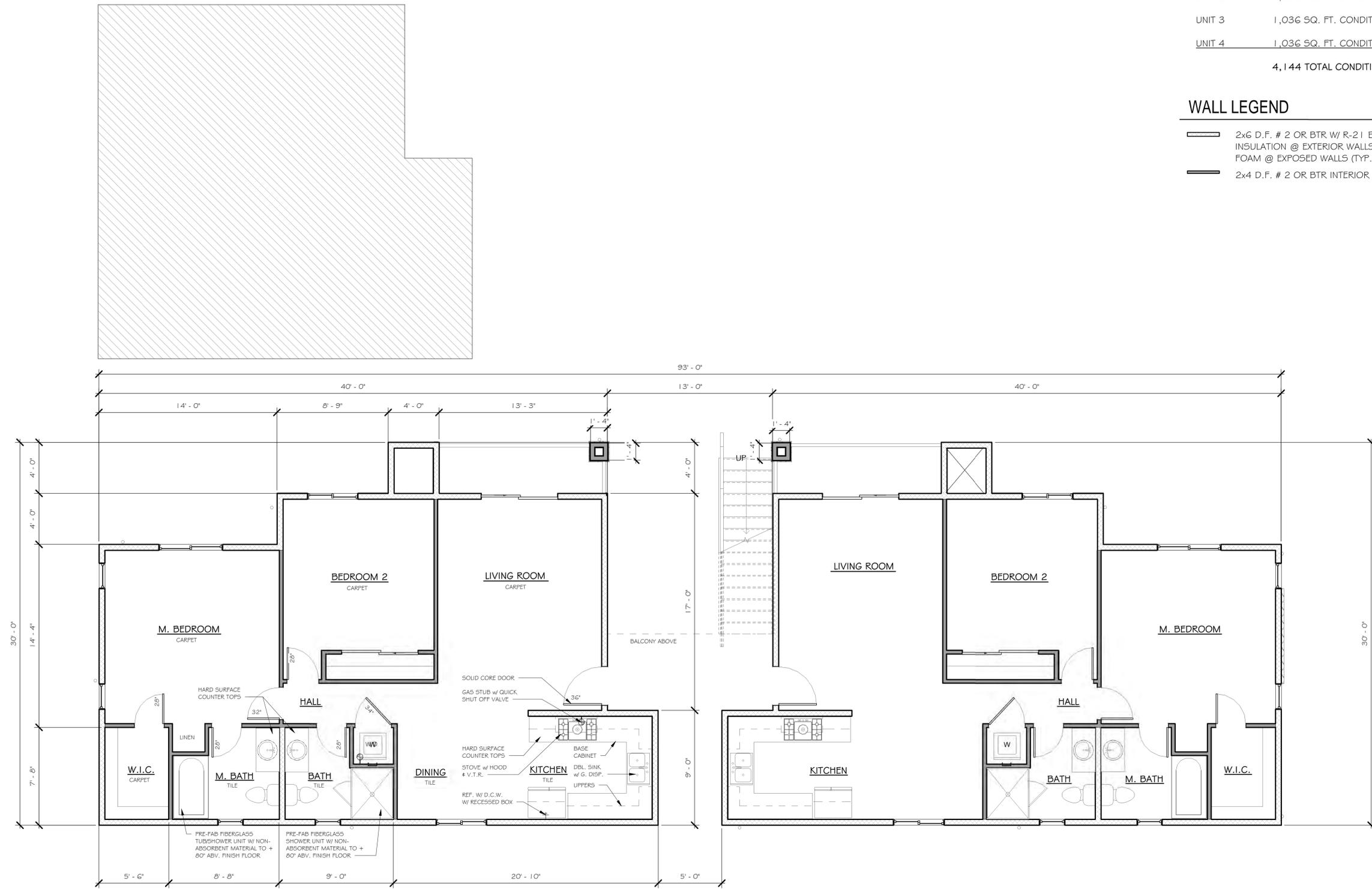
QUALITY BUILDERS  
GENERAL  
CONSTRUCTION INC.

Sheet Title:  
**SITE PLAN**

Proposed Apartment Complex For:  
**QUALITY BUILDERS  
CONSTRUCTION INC.** 30833 Ave. 322 Unit A  
Woodlake, CA 93286  
(559) 303-9121  
WOODLAKE, CALIF.

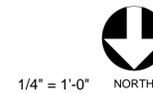
PROJECT NO.  
20-0101

DRAWING  
**A100**



**FLOOR PLAN**

TOTAL SQ. FOOTAGE: 4,144 Sq. Ft



**SQUARE FOOTAGE TABULATION**

UNIT 1	1,036 SQ. FT. CONDITIONED
UNIT 2	1,036 SQ. FT. CONDITIONED
UNIT 3	1,036 SQ. FT. CONDITIONED
UNIT 4	1,036 SQ. FT. CONDITIONED
<b>4,144 TOTAL CONDITIONED SPACE</b>	

**WALL LEGEND**

- 2x6 D.F. # 2 OR BTR W/ R-21 BATT INSULATION @ EXTERIOR WALLS # R5.0 RIGID FOAM @ EXPOSED WALLS (TYP.)
- 2x4 D.F. # 2 OR BTR INTERIOR WALLS

Rev.	Date	Description
A	3/7/2020	CLIENT REVIEW

QUALITY BUILDERS  
GENERAL  
CONSTRUCTION INC.

Sheet Title:  
**FLOOR PLAN**

Proposed Apartment Complex For:  
**QUALITY BUILDERS  
CONSTRUCTION INC.** 30833 Ave. 322 Unit A  
Woodlake, CA 93286  
WOODLAKE, CALIF. (559) 303-9121

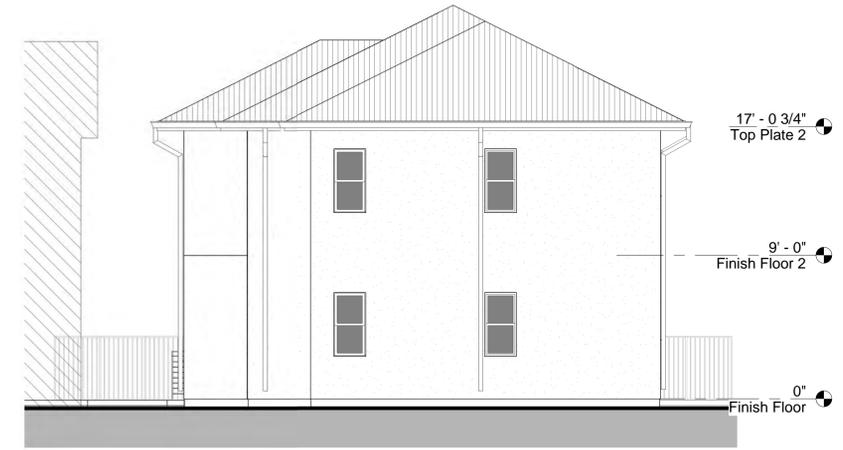
PROJECT NO.  
20-0101

DRAWING  
**A200**



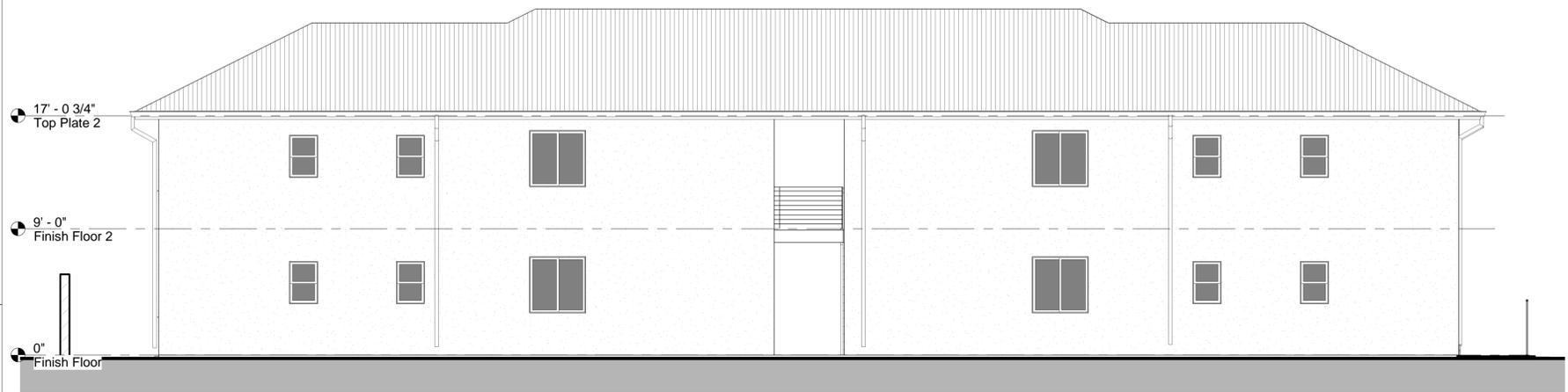
**SOUTH ELEVATION**

3/16" = 1'-0"



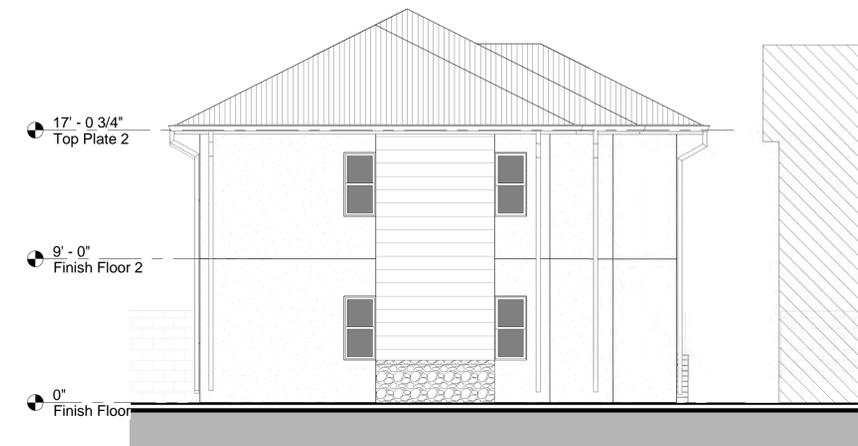
**EAST ELEVATION**

3/16" = 1'-0"



**NORTH ELEVATION**

3/16" = 1'-0"



**WEST ELEVATION**

3/16" = 1'-0"

Rev.	Date	Description
A	3/7/2020	CLIENT REVIEW

QUALITY BUILDERS  
GENERAL  
CONSTRUCTION INC.

Sheet Title:  
**EXTERIORS**

Proposed Apartment Complex For:  
**QUALITY BUILDERS  
CONSTRUCTION INC.**  
WOODLAKE, CALIF.  
30833 Ave. 322 Unit A  
Woodlake, CA 93286  
(559) 303-9121

PROJECT NO.  
20-0101

DRAWING  
**A300**