

CHAPTER 43



Cottage Development Overlay District (CD-X)

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17.43.01 Purpose

The purpose of the cottage development (CD-X) overlay district is to provide housing alternatives to the typical detached, single-family house. This overlay district is intended to address the changing composition of households, and the need for smaller, more diverse, and often, more affordable housing choices. The use of the overlay district encourages innovation and diversity in housing design and site development, while ensuring compatibility with surrounding single-family residential development.

The cottage development overlay district is structured to produce a comprehensive development that is superior to typical single family residential development from an environmental impact perspective. In addition to better design strategies, a development constructed in this overlay zone will have less of an impact on the environment, which translates into a smaller carbon footprint and consistency with recent State legislation - AB 32 and SB 375.

17.43.02 Applicability

This overlay district can be combined with any single family or multi-family residential district identified in the zoning ordinance. For purposes of identification, an established CD overlay district shall be suffixed with the zoning notation of the district with which it is combined (e.g. CD-R-1-7 or CD-RM-3). The application for an overlay zone shall be processed consistent with Chapter 17.50 Zoning Ordinance Amendments.

17.43.03 Permitted Uses

Uses permitted in the CD combining district shall be those uses listed on the permitted use list of the R-1-7 district to which the planned development district is being combined.

17.43.04 Conditional Uses

Uses permitted in the CD combining district shall be those uses listed on the conditional use list of the R-2 and R-3 zone districts to which the planned development district is being combined.

17.43.05 Definitions

The following definitions apply to the housing types allowed through the provisions in this chapter:

- A. “Cottage” – A detached, single-family dwelling unit containing 1,200 square feet or less of gross floor area.
- B. “Carriage Unit” – A single-family dwelling unit, not to exceed 500 square feet in gross floor area, located above a garage structure in a cottage housing development.

17.42.06 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

17.42.07 Residential Development Standards (see also Exhibit 34-1)

The following development standards together with applicable standards specified in the residential base zone shall apply to all land and structures within the cottage development overlay district.

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A. Minimum/Maximum Residential Unit Size

1. The minimum unit size for a cottage unit shall be 800 square feet; the maximum unit size shall be 1,200 square feet.
2. The minimum unit size for a carriage house shall be 250 square feet; the maximum unit size shall be 500 square feet.

B. Minimum site area

The minimum site area for application of the cottage development overlay district to single family residential districts shall be one-quarter acre.

C. Density

For single family residential developments, the number of residential dwelling units per acre may be double the density permitted by the base residential zone.

D. Height

The maximum height of a structure shall be one story except in the case where a carriage house is built above a garage.

E. Coverage

The maximum building coverage of a lot shall be consistent with the requirements of the base zone.

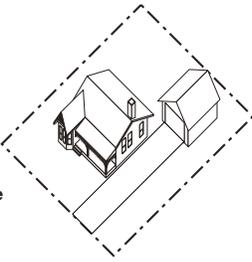
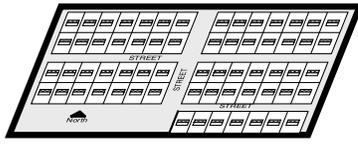
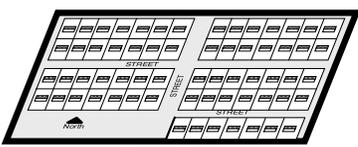
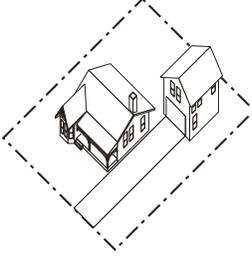
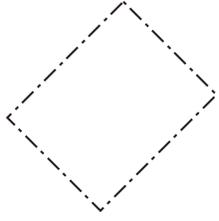
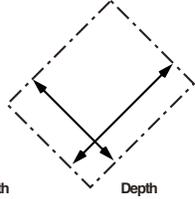
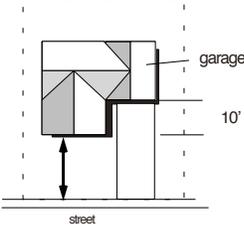
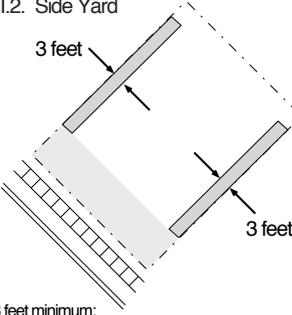
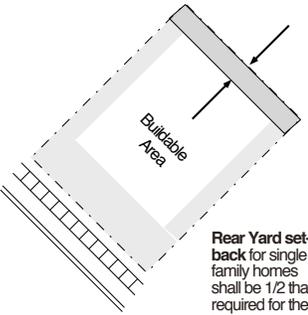
F. Minimum Lot Size

The minimum lot size of single family residential lots is 2,500 square feet, except in the case of the RA and R-1-10 districts.

G. Average Lot Size

The average lot size of a subdivision created under the planned development overlay district shall not be less than one-half of the minimum lot size of the base zone (Note: the average lot size is calculated by dividing the square footage of all residential lots to be created by the number of proposed lots).

Exhibit 43-1: Zoning Standards

<p>17.42.07 A. Dwelling Size</p> <p>Cottage Dwelling Minimum dwelling size is 800 s.f. Maximum dwelling size is 1,200 s.f.</p> <p>Carriage House Minimum dwelling size is 250 s.f. Maximum dwelling size is 500 s.f.</p> 	<p>17.42.07 B. Project Site Area</p> <p>Minimum Project Site Area: 1/4 acre</p> 	<p>17.42.07 B. Density</p> <p>Maximum Project Density may be double that of the base zone</p> 																													
<p>17.42.07 D & E. Height & Coverage</p> <p>Height Cottage Dwelling One story, maximum</p> <p>Carriage House May be situated above garage</p> <p>Coverage Lot coverage shall be as required by the base zone.</p> 	<p>17.42.07 F & G (Lot Size)</p> <p>Minimum Lot Size 2,500 s.f., except in RA and R-1-10 zones</p> <p>Average lot size: Not less than one-half the minimum lot size of the base zone</p> 	<p>17.42.07 H. (Lot Frontage/Depth)</p> <p>Minimum Lot Frontage & Depth shall be one-half that required in the base zone.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th rowspan="2">Zone</th> <th colspan="2">Width</th> <th colspan="2">Depth</th> </tr> <tr> <th>Interior Lot</th> <th>Corner Lot</th> <th>Interior Lot</th> <th>Corner Lot</th> </tr> </thead> <tbody> <tr> <td>R-1-7</td> <td>35'</td> <td>37.5'</td> <td>50'</td> <td>50'</td> </tr> <tr> <td>R-1-10</td> <td>40'</td> <td>47.5'</td> <td>60'</td> <td>60'</td> </tr> <tr> <td>RM-2</td> <td>30'</td> <td>30'</td> <td>25'</td> <td>25'</td> </tr> <tr> <td>RM-3</td> <td>25'</td> <td>25'</td> <td>50'</td> <td>50'</td> </tr> </tbody> </table> 	Zone	Width		Depth		Interior Lot	Corner Lot	Interior Lot	Corner Lot	R-1-7	35'	37.5'	50'	50'	R-1-10	40'	47.5'	60'	60'	RM-2	30'	30'	25'	25'	RM-3	25'	25'	50'	50'
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<p>17.42.07 I.1. Front Yard</p> <p>Front Yard setback for single family homes shall be 1/2 that required for the base zone</p> <p>Garages shall be set back at least 20 feet from rear of sidewalk, and at least 10 feet behind front face of dwelling.</p> 	<p>17.42.07 I.2. Side Yard</p> <p>Setback: 3 feet minimum;</p> <p>Zero lot development also allowed, but must be offset with a ten foot side yard.</p> 	<p>17.42.07 I.3. Rear Yard</p> <p>Rear Yard setback for single family homes shall be 1/2 that required for the base zone</p> <p>Buildable Area</p> 																													

H. Lot Frontage and Depth

The minimum lot frontage of single family residential lots shall be one-half of the requirements of the base zone.

The minimum lot depth of single family residential lots shall be one-half of the requirements of the base zone.

I. Yards

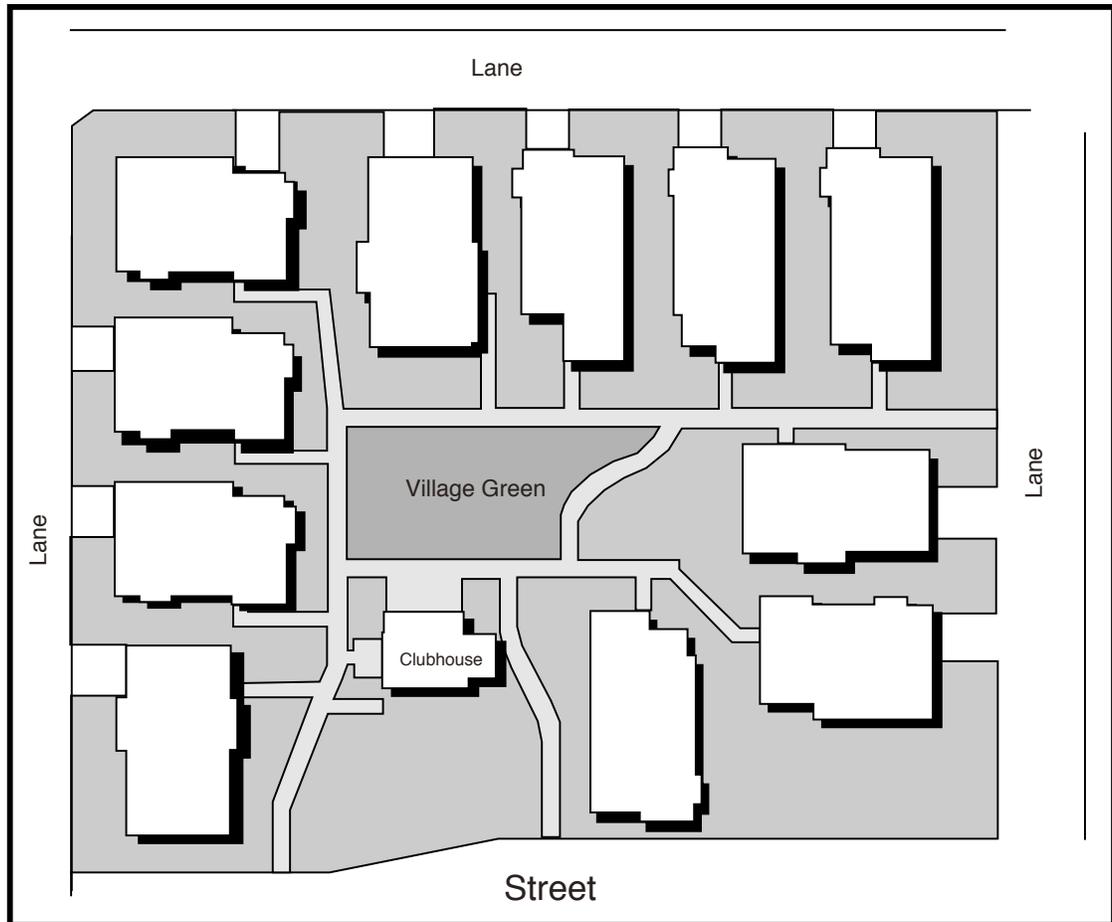
1. Front Yard: Front yard setbacks for single family residential buildings shall be one-half of the requirements of the base zone. All garages shall have a front yard setback of 20 feet from the rear of sidewalk, and shall also be a minimum be 10 back from face of residential dwelling.
2. Side Yard: Side yard for single family residential buildings shall have a minimum setback of three feet except in the case of a zero-lot-line development wherein one side yard may be zero and the opposing side yard shall be 10 feet.
3. Rear Yard: Rear yard setbacks for single family residential buildings and garages shall be one-half of the requirements of the base zone.

J. Residential Design

1. Dwellings within a cottage housing development should be oriented to promote a sense of community, both within the development, and with respect to the larger community, outside of the cottage project (see Exhibit 43-2 example). A cottage development should not be designed to “turn its back” on the surrounding neighborhood.

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Exhibit 43-2: *Site Design Sample*



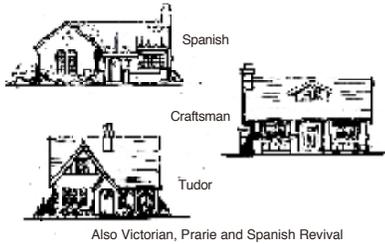
2. Where feasible, each dwelling unit that abuts a common open space area shall have a primary entry and/or covered porch oriented to the common open space.
3. Each dwelling unit abutting a public right-of-way (not including alleys) shall have an inviting facade incorporating such elements as a porch, front door and significant windows. If a dwelling unit abuts more than one public right-of-way, the City shall determine to which right-of-way the inviting facade shall be oriented.
4. The elevation drawings of buildings to be constructed in the cottage development combining district shall be those traditional to Woodlake and the San Joaquin Valley (see Exhibit 43-3). Architectural historians familiar with the San Joaquin Valley have identified several styles common to the region. These include but are not limited to Craftsman, Tudor, Victorian, Prairie, Spanish, and Spanish Revival.

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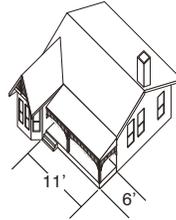
Exhibit 43-3: *Selected Residential Design Standards*

17.43.07 J.4. Architectural

Architectural styles historic to Woodlake and the San Joaquin Valley are recommended

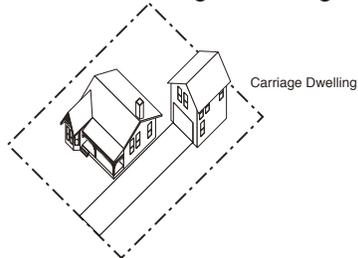


17.43.07 J.5. Porches

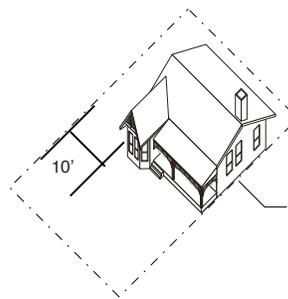


All homes shall include a covered porch containing at least 64 square feet, with minimum width and depth of at least 7 feet.

17.43.07 J.6. Carriage Dwellings



17.43.07 J.7. Zero Lot Lines



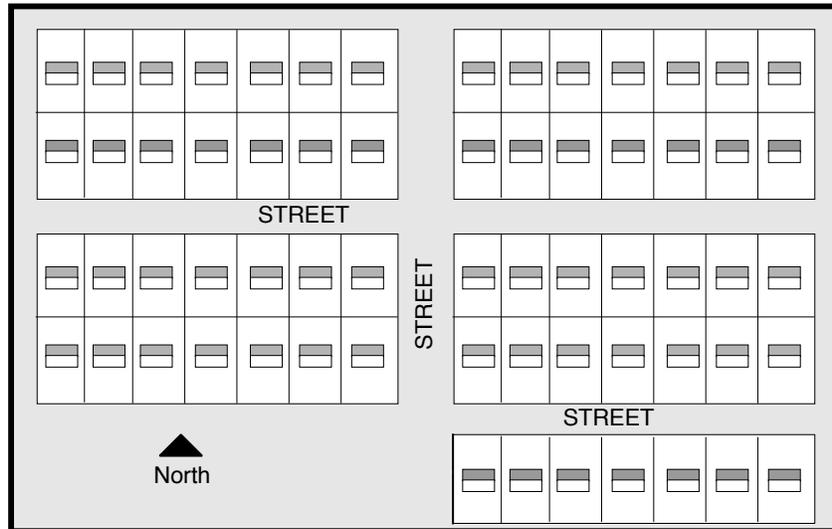
Zero lot line setback must be offset by a 10 foot wide side yard on opposite side.

5. Each residential unit must have a covered porch with a minimum area of 64 square feet per unit and a minimum dimension of 7' on all sides.
6. Carriage units are permitted to be built above garages.
7. A residential dwelling unit is permitted to be built on a side property line if there is a minimum distance of 10 feet between said unit and a structure on the adjacent lot.
8. All front yards and street side yards shall be landscaped and shall be provided with an automatic irrigation system. At a minimum, one, 15-gallon tree per 25 feet of street frontage shall be required on each lot. Top facilitate water conservation, not more than 50 percent of the landscaped portion of the front yard area shall be planted with turf.
9. Projects should include a mix of unit sizes within a single development.

K. Streets, Sidewalks and Alleys

1. In order to take advantage of passive solar opportunities, a majority of subdivision streets and alleys shall be oriented east and west.

Exhibit 43-4: *Solar Subdivision Orientation*



2. Single family residential subdivisions may have local streets that have a minimum right-of-way width of 56 feet, 32 feet paved width. Tree-lined parkways shall be installed in this right-of-way. The parkway shall have a width of 7 feet; the sidewalk 5 feet.
3. Single family residential subdivisions may have cul-de-sac streets that have a minimum right-of-way width of 52 feet, 28 feet paved width. Tree-lined parkways shall be installed in this right-of-way. The parkway shall have a width of 7 feet; the sidewalk 5 feet. All cul-de-sac streets shall provide for a pedestrian opening at the end of the cul-de-sac when there is an adjacent street, park or other type of public right-of-way or open space feature.
4. Alleys are permitted within residential subdivisions. Alleys shall have a right-of-way of 24 feet and a paved width of 20 feet. A concrete vee gutter is required in the middle of the alley. The non-paved portion of the right-of-way shall be landscaped and provided with irrigation.
5. Interior sidewalks in a cottage development shall have a minimum width of 5 feet. Sidewalk connections should link all buildings to the public right-of way, common open space and parking areas.

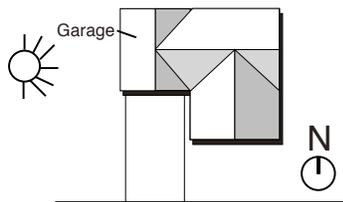
L. Passive Solar Design

1. At least eighty percent of garages should be situated on the west side of a residential that is located on an east/west street and on the south side of the residential dwelling on a north/south street.
2. Ground-mounted heating/cooling units will be situated on the east side of a residential dwelling that is located on an east/west street and on the north side of the residential dwelling on a north/south street.
3. Minimal glazing will be permitted on west-facing residential walls.

Exhibit 43-5: *Passive Solar Design Elements*

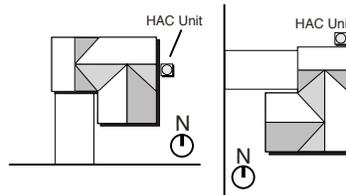
17.43.07 L. 1. Garage Placement

75% of all garages to be located on the west side of homes on an east/west street or on the north side of a home fronting on a north/south roadway.



17.43.07 L. 1. Heating/Cooling Units

Heating/Air Conditioning (HAC) units are to be located on the east side of homes on an east/west street or on the north side of a home fronting on a north/south roadway.



M. Common Park

1. There shall be a common park area that is centrally located on the project site. It shall be fronted on at least two sides by cottage units. The area of the common park shall be determined by the number of residential units in the project. A minimum of 300 square feet of common park area shall be required for each residential unit.
2. The common park area shall be maintained by a landscaping and lighting district or a homeowners association.
3. Landscaping located in common open space areas shall be designed to allow for easy access and use of the space by all residents, and to facilitate maintenance needs. Where feasible, existing mature trees should be retained.

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4. Surface water management facilities shall be limited within common open space areas. Low Impact Development (LID) features are permitted, provided they do not adversely impact access to or use of the common open space for a variety of activities. Conventional stormwater collection and conveyance tools, such as flow control and/or water quality vaults are permitted if located underground.

O. Parking

On-site parking shall be provided as follows:

1. Units under 700 square feet: 1 space per unit
2. Units between 700 – 1,000 square feet: 1.5 spaces per unit
3. Units over 1,000 square feet: 2 spaces per unit.
4. Parking areas should be located so their visual presence is minimized, and associated noise or other impacts do not intrude into public spaces. These areas should also maintain the single-family character along public streets.
5. Shared detached garage structures may not exceed four garage doors per building, and a total of 1,200 square feet.
6. For shared detached garages, the design of the structure must be similar and compatible to that of the dwelling units within the development.
7. Shared detached garage structures and surface parking areas must be screened from public streets and adjacent residential uses by landscaping or architectural screening.