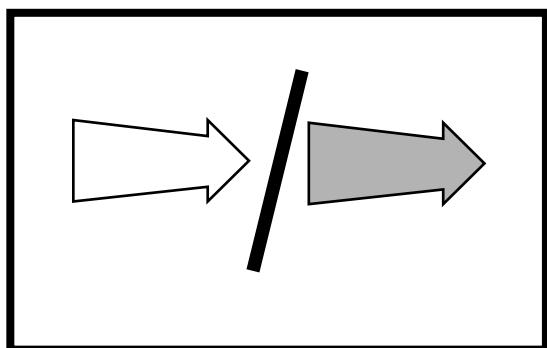


CHAPTER 42



Planned Development Overlay District (PD-X)

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17.42.01 Purpose

The purpose of the planned development (PD-X) overlay district is to promote development designs that respond to significant planning-related issues facing Valley cities, including urbanization of agricultural land, air quality, housing affordability, energy and water conservation, traffic, aesthetics and neighborhood deterioration. This new approach to development design has been popularized by the termed “smart growth”. The basis for this type of growth is reveled in the following documents: Ahwanee Principles, Landscaping of Choice and Ten Planning Principles for the Next 10 Million.

The planned development overlay district is structured to produce a comprehensive development that is superior to traditional development of the recent past. In addition to better design strategies, a development constructed in an overlay zone will have less of an impact on the environment, which translates into a smaller carbon footprint and consistency with recent State legislation - AB 32 and SB 375.

17.42.02 Applicability

This overlay district can be combined with any single family, multi-family or neighborhood commercial district identified in the zoning ordinance. For purposes of identification, an established PD overlay district shall be suffixed with the zoning notation of the district with which it is combined (e.g. PD-R-1-7 or PD-CN). The application for an overlay zone shall be processed consistent with Chapter 17.50 Zoning Ordinance Amendments.

17.42.03 Permitted Uses

Uses listed on the permitted use list of the district to which the planned development district is being combined.

17.42.04 Conditional Uses

Uses listed on the conditional use list of the district to which the planned development district is being combined.

17.42.05 Application Requirements

Prior to filing an application for a zoning ordinance amendment to reclassify property to the planned development overlay district, the applicant shall submit to the City a development plan, which shall include the following:

- A. Legal description and boundary survey map of the exterior boundaries of the land to be developed.
- B. A site plan of the project consistent with Chapter 17.56 Site Plan Review of this Ordinance.
- C. Front elevation drawings of the major building features of the project.
- D. A phase plan, if applicable.
- E. The location and general arrangement of all open space, landscaping and hardscape areas.
- F. An infrastructure and utilities plan.
- G. Schematic plan for adjacent properties.

17.42.06 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

17.42.07 Planned Single-Family Residential Development Standards

The following development standards together with applicable standards specified in the single-family residential base zone shall apply to all land and structures within this planned development overlay district.

A. Minimum site area

The minimum site area for application of the planned development overlay district to single family residential districts shall be one acre.

B. Density

For single family residential developments, the number of residential dwelling units per acre shall not exceed the density permitted by the Land Use Element of the General Plan.

C. Height

The maximum height of a structure shall be consistent with the requirements of the base zone.

D. Coverage

The maximum building coverage of a lot shall be consistent with the requirements of the base zone.

E. Minimum Lot Size

The minimum lot size of single family residential lots may be 5,000 square feet, except in the case of the RA and R-1-10 districts.

F. Average Lot Size

The average lot size of a subdivision created under the planned development overlay district shall not be less than the minimum lot size of the base zone (Note: the average lot size is calculated by dividing the square footage of all residential lots to be created by the number of proposed lots).

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G. Lot Frontage and Depth

The minimum lot frontage of single family residential lots shall be consistent with the requirements of the base zone except in the case of the R-1-7 zone district in which case the minimum lot width may be as follows: interior lot, 50 feet; corner lot, 60 feet.

The minimum lot depth of single family residential lots shall be consistent with the requirements of the base zone.

H. Yards

1. Front Yard: Front yard setbacks for single family residential buildings shall be consistent with the requirements of the base zone except in the case of the R-1-7 zone district in which case 50 percent of the buildings can deviate from the front yard setback standard. Buildings that deviate from the front yard setback may have a 15-foot setback and their porches and overhangs may have a 10-foot setback. All garages shall have a front yard setback of 20 feet from the rear of sidewalk or alley, and shall also at a minimum be 10 back from face of residential dwelling.
2. Side Yard: Side yard setbacks for single family residential buildings shall be consistent with the requirements of the base zone except in the case of a zero-lot-line development wherein one side yard may be zero and the opposing side yard shall be 10 feet.
3. Rear Yard: Rear yard setbacks for single family residential buildings shall be consistent with the requirements of the base zone.

I. Duplex Locations

All duplexes shall be located on corner lots. The front door of each living unit shall face a different street. A maximum of one duplex per 20 single family residential dwellings may be constructed in a subdivision. Duplex units shall have the same setback requirements as adjacent single family units, except in the case of the side yard between a duplex and single family unit. This side yard shall be 12 feet.

J. Elevations

The elevation drawings of buildings to be constructed in the planned development combining district shall be those traditional to Woodlake and the San Joaquin Valley. Architectural historians familiar with the San Joaquin Valley have identified several styles common to the region. These include but are not limited

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to Craftsman, Art Deco, Victorian, Prairie, Spanish, and Spanish Revival to name a few.

K. Streets and Alleys

1. In order to take advantage of passive solar opportunities, most subdivision streets and alleys shall be oriented east and west.
2. Single family residential subdivisions may have local streets that have a minimum right-of-way width of 56 feet, 32 feet paved width. Tree-line parkways shall be installed in this right-of-way. The parkway shall have a width of 7 feet; the sidewalk 5 feet.
3. Single family residential subdivisions may have cul-de-sac streets that have a minimum right-of-way width of 52 feet, 28 feet paved width. Tree-line parkways shall be installed in this right-of-way. The parkway shall have a width of 7 feet; the sidewalk 5 feet. All cul-de-sac streets shall provide for a pedestrian opening at the end of the cul-de-sac when there is an opposing street, park or other type of public right-of-way or open space feature.
4. Alleys are permitted within residential subdivisions. Alleys shall have a right-of-way of 24 feet and a paved width of 20 feet. A concrete vee gutter is required in the middle of the alley. The non-paved portion of the right-of-way shall be landscaped and provided with irrigation. Garbage pickup shall not be permitted in the alleys.

L. Passive Solar Design

1. Eighty percent of garages will be situated on the west side of a residential that is located on an east/west street and on the south side of the residential dwelling on a north/south street.
2. Ground-mounted heating/cooling units will be situated on the east side of a residential dwelling that is located on an east/west street and on the north side of the residential dwelling on a north/south street.
3. Minimal glazing will be permitted on west-facing residential walls.

M. Neighborhood Pocket Parks

One lot of not less than the average lot size for the subdivision for every 30 lots within a subdivision shall be dedicated and improved as a neighborhood pocket park unless the Planning Commission finds that the location of an existing or future community park will meet the needs of the residents of the subdivision.

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Where the Commission finds that a park is not necessary, an in lieu fee shall be paid. The amount of said fee shall be determined by the city engineer and shall be identified in a subdivision agreement.

N. Residential Unit Design

1. Residential dwelling units can have a 15-foot front yard setback if the garage is setback a minimum distance of 25 feet from the front property line or back of sidewalk whichever distance is greater.
2. Residential dwelling units situated on corner lots shall be designed so that the garage and the front door face different streets.
3. Alleys may be incorporated into the design of a subdivision. The garages of residential dwelling units that back up to an alley shall open up to the alley, not the street.
4. If alleys are incorporated into the design of a subdivision, said alley shall be landscaped. A landscaping and irrigation plan shall be submitted to the city planner for review and approval. If the landscaped area exceeds 2,500 square feet in area, the landscaping and irrigation plan shall be prepared consistent with Chapter 17.66 Landscaping, Irrigation and Grading.
5. Rooms are permitted to be built above garages.
6. A residential dwelling unit is permitted to be built on a property line if there is a minimum distance of 10 feet between said unit and a structure on the adjacent lot.
7. A two-car carport can be built in place of a two-car garage so long as: the carport is setback 20 feet further than the setback on the house, the carport is connected to the house, the carport has the same roof pitch as the house and the roofing material is the same, and the support beams or posts are decorative in style.
8. All fencing visible from the street shall contain pilasters. These pilasters shall generally be placed as follows: where two fences intersect, where a fence and a gate intersect or at the corner of a lot.
9. All front yards and street side yards shall be landscaped and shall be provided with an automatic irrigation system. A minimum of one, 15-gallon tree per 25 feet of street frontage shall be required of each lot. A 24-inch box tree shall be planted on each corner lot within the subdivision.

Not more than 50 percent of the landscaped portion of the front yard area shall be planted with turf.

17.42.08 Planned Multi-Family Residential

Improvements, standards, and procedures not specifically detailed below shall conform to the base zone district.

A. Minimum site area

The minimum site area for application of the planned development overlay district to multi-family residential districts shall be one-half acre.

B. Density

For multi-family residential developments, the number of residential dwelling units per acre shall not exceed the density permitted by the General Plan.

C. Height

The maximum height of a structure shall be consistent with the requirements of the base zone.

D. Coverage

The maximum building coverage of a lot shall be consistent with the requirements of the base zone.

E. Minimum Lot Size

The minimum lot size of multi-family residential lots shall be consistent with the requirements of the base zone.

F. Lot Frontage and Depth

1. The minimum lot width of multi-family residential lots shall be consistent with the requirements of the base zone.
2. The minimum lot depth of multi-family residential lots shall be consistent with the requirements of the base zone.

H. Yards

1. Front Yard. Front yard setbacks for multi-family residential buildings shall be consistent with the requirements of the base zone. All garages

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shall have a front yard setback of 20 feet from rear of sidewalk and shall also have a minimum 10 foot setback from face of residential dwelling.

2. Side Yard. Side yard setbacks for multi-family residential buildings shall be consistent with the requirements of the base zone.
3. Rear Yard. Rear yard setbacks for multi-family residential buildings shall be consistent with the requirements of the base zone.

I. General Building Design and Orientation

1. The elevation drawings of multi-family buildings to be constructed in the planned development combining district shall be those traditional to Woodlake and the San Joaquin Valley. Architectural historians familiar with the San Joaquin Valley have identified several styles common to the region. These include but are not limited to Craftsman, Art Deco, Victorian, Prairie, Spanish, and Spanish Revival to name a few.
2. Multi-family buildings located on corner lots shall have the front doors of the living units facing both streets.
3. Straight building lines is discouraged by staggering units, varying building heights and roof lines.
4. Monotonous building designs is discouraged by using different building materials, color schemes, and landscaping treatments.
5. All mechanical equipment shall be screened from view with a wall, fencing, or landscaping.
6. Front porches and balconies are encouraged.
7. Buildings shall be designed and oriented to reduce overview of private backyards and patio areas, both on-site and on adjacent properties.
8. Multi-family development shall be pedestrian oriented. Providing multiple pedestrian access points and constructing pedestrian oriented improvements (shaded arbors, lighting, tree-lined sidewalks, and walkways across parking lots) are two examples.
9. Multi-family buildings should be oriented east and west in order to take advantage of passive solar opportunities.

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J. Parking Requirements and Parking Lot Design

1. Parking requirements shall be consistent with the base zone.
2. On-street parking should be discouraged through the use of red-curbing, landscaping and/or fencing.
3. Off-street parking should be located on the side or at the rear of the building(s).
4. One-half of the required parking stalls shall be covered. Covered parking stalls shall have design elements similar to the primary buildings, including roof pitch, roof composition and paint color.
5. Parking lots shall be landscaped with trees so that 50 percent of the lot is shaded within 10 years. Rows of parking stalls shall be interrupted with a tree-containing planter.
6. Pedestrian pathways through parking lots shall be clearly delineated using improvements such as landscaping, lighting and pavement material.

K. Landscaping Improvements

1. If the landscaped area exceeds 2,500 square feet in area, the landscaping and irrigation plan shall be prepared consistent with Chapter 17.66 Landscaping, Irrigation and Grading.
2. The major treatment for all setback areas shall be a combination of lawn and trees, with shrubs being planted at the base of buildings. Plant material shall be varied in size, shrubs from one to five gallons and trees from 15 gallons to 24-inch box. All landscaped areas shall be provided with an automatic irrigation system. Not more than 50 percent of the landscaped area shall be planted with turf.
3. Tree lined parkways will be installed along streets that abut the multi-family project.
4. Blank walls will be receive special landscaping attention, which could include climbing vines trained on a trellis or installation of trees or shrubs.
5. Deciduous trees shall be planted along the south and west facing building walls to allow solar access during the winter.
6. Trees should be located where they will screen views by residents of parking lots, back yards and patios.

7. Twenty-four inch box trees should be planted in the street-side setback areas at a ratio of one tree per 50 feet of street frontage.
8. On-site open space amenities shall be centrally located and easily visible from surrounding units. Benches, shading and a drinking fountain should be incorporated into this open space feature.

L. Fencing and Walls

1. All fencing visible from the street shall contain pilasters. These pilasters shall generally be placed as follows: where two fences intersect, where a fence and a gate intersect or at the corner of a lot. Fencing may be staggered and/or fencing materials may be mixed in order to create visual interest.
2. Fences or walls that surround a parking lot shall be landscaped with plant material, such as vines and shrubs, that masks these hard surfaces.
3. Decorative wrought-iron fencing is encouraged, especially between on-street parking and the living units.
4. Gates and pedestrian opening into the project shall be accentuated with pilasters, awnings, landscaping, trellises and/or lighting.

M. Trash Enclosures

1. Trash enclosures shall be constructed of solid masonry material. They shall be designed so that walk-in access is permitted by tenants without having to open the gates.
2. The trash enclosure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when it is in the open position. A concrete apron shall be constructed either in front of the trash enclosure or at a point of dumpster pickup by the waste removal truck.
3. A landscaped trellis will be constructed over the trash enclosure. Landscaping should also be planted on the perimeter of the enclosure.
4. The dimensions of the trash enclosure shall be consistent with Woodlake's improvement standards.

17.42.10 Planned Neighborhood Commercial

Improvements, standards, and procedures not specifically detailed below shall conform to the base zone district.

A. Site Area

The minimum and maximum site area for a neighborhood commercial development shall be consistent with the base zone district.

B. Height

The maximum height of a structure shall be 35 feet but not greater than two stories.

C. Permitted Uses

Permitted uses shall be consistent with the base zone except in the case of offices and residential uses, which shall be permitted in the second story of a building.

D. Conditional Uses

Conditional uses shall be consistent with base zone district.

E. Building Design

1. All buildings should have a distinguishing base.
2. All buildings should have a distinguishable roof, cornice or parapet.
3. Buildings located at a street intersection should have a corner treatment, including a diagonal cut ground floor opening, a corner window, a fountain or statue or an architectural feature, like a turret or bay window.
4. Buildings may be constructed behind sidewalk so long as there is 10-foot sidewalk pattern.
5. All storefronts should have display windows, an easily identifiable entrance, and a facade with architectural accents, including columns, awnings, light fixtures, pilasters, paneling, etc.
6. All projects shall contain a pedestrian focal feature, such as an interior courtyard, fountain, statue, tree-lined pedestrian corridor, etc.

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7. Building with parking lots at the rear shall have distinguishable rear entrances.

F. Parking Requirements and Parking Lot Design

1. Parking requirements for uses in the neighborhood commercial development shall be consistent with the base zone.
2. Shared parking is recommended.
3. Off-street parking shall be located on the side or at the rear of the building(s).
4. Parking lots shall be landscaped with trees so that 50 percent of the lot is shaded within 10 years. Rows of parking stalls shall be interrupted with a tree-containing planter.
5. Pedestrian pathways through parking lots shall be clearly delineated using improvements such as landscaping, lighting and pavement material.
6. Parking lots located adjacent to residentially designated land shall be separated by a 6-foot block wall, which is landscaped with vines, shrubs or trees. Parking lots adjacent to streets shall be separated by a low wall (48 inches), which is landscaped on both sides.

G. Landscaping, Fencing/Walls, Lighting and Trash Enclosure Improvements

1. Tree lined parkways will be installed along streets that abut the neighborhood commercial project.
2. Blank walls should receive special landscaping attention, which could include climbing vines trained on a trellis or installation of trees or shrubs.
3. All fencing visible from the street shall contain pilasters. These pilasters shall generally be placed as follows: where two fences intersect, where a fence and a gate intersect or at the corner of a lot.
4. Fences or walls that surround a parking lot shall be landscaped with plant material, such as vines and shrubs, that masks these hard surfaces.
5. Gates and pedestrian openings into the project shall be accentuated with pilasters, awnings, landscaping, trellises and/or lighting.

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6. Decorative street lights shall be installed along the streets that abut the neighborhood commercial development. In addition, these same types of lights shall be installed in the parking lots and along any pedestrian corridor.
7. Trash enclosures shall be constructed of solid masonry material. They shall be designed so that walk-in access is permitted by tenants without having to open the gates.
8. The trash enclosure shall have decorative heavy gauge metal gates and be designed with cane bolts on the doors to secure the gates when it is in the open position. A concrete apron shall be constructed either in front of the trash enclosure or at a point of dumpster pickup by the waste removal truck.
9. A landscaped trellis will be constructed over the trash enclosure. Landscaping should also be planted on the perimeter of the enclosure.
10. The dimensions of the trash enclosure shall be consistent with Woodlake's improvement standards.