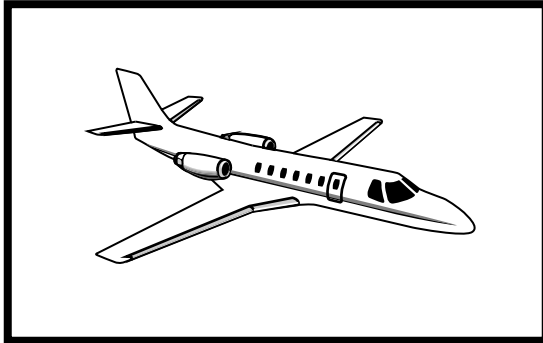


CHAPTER 41



AP Zone (Airport)

Sections

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17.41.01 Purpose

The purpose of the Airport (AP) district is to provide an area in the community that is reserved for Woodlake's municipal airport and a range of land uses that are harmonious with airport activities. Within this district, land shall be reserved for land uses that can tolerate a high level of noise exposure while tolerating the level of risk to health and safety resulting from aircraft over flights.

The AP district will be matched with the "airport" designation detailed in the Land Use Element of Woodlake's General Plan to ensure consistency between Woodlake's zoning ordinance and general plan.

17.41.02 Permitted Uses

- A. Airport and related offices and accessory structures.
- B. Runways, taxiway, aprons and tiedowns.
- C. Facilities for the dispensing of aviation fuels and lubricants.
- D. Restaurants.
- E. Airplane hangers.
- F. The growing and harvesting of agricultural crops.

17.41.03 Conditional Uses

- A. Crop dusters.
- B. Agricultural nurseries.
- C. Cold storage plants.
- D. Warehousing, mini-warehouses and storage, storage garages and yards, and freight forwarding terminals.
- E. Wastewater treatment facilities and associated ponds and basins.
- F. Restaurants selling beer and wine.
- G. Manufacturing, assembling, and packaging of small instruments, tools, equipment, and engines.
- H. Manufacture, testing, repair and maintenance of airplane and airplane parts. Repair and maintenance may include painting, body work and upholstery.

17.41.04 Prohibited Uses

Sound sensitive activities such as residential housing of any type, schools, offices, hospitals, churches and similar activities shall be prohibited.

17.41.05 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

17.41.06 Development Standards

A. Site Area

No minimum lot size.

B. Lot Frontage and Depth

No requirement.

C. Building Height

Buildings or structures shall not exceed the standards set forth in Ordinance No. 309, Airport Zoning, contained in Woodlake's Municipal Code.

D. Yards

1. Front: 25 feet

2. Side: 10 feet.

3. Rear: 10 feet

F. Distance Between Structures

The minimum distance between structures shall be 10 feet.

17.41.07 Screening

Open storage of materials and equipment shall be permitted only within an area surrounded and screened by an ornamental wall or fence that is not less than six feet in height.

17.41.08 Off-Street Parking

Off-street parking shall comply with the standards contained in Chapter 17.76 Parking and Loading.

17.41.09 Signs

Signage shall comply with the standards contained in Chapter 17.74 Signs.