

## CHAPTER 24



### Central Commercial (CC)

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#### **17.24.01 Purpose**

The C-C district is intended primarily to serve as the central district of Woodlake. This district permits the accommodation and enhancement of several existing dominant functions within the central business district including shopping, retailing goods of a durable nature and office uses, as well as serving as the financial, government and entertainment center of Woodlake.

#### **17.24.02 Permitted Uses**

- A. Professional offices.
- B. Parking lots.

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- C. Retail stores and service establishments.
- D. Apparel, shoe, and jewelry stores.
- E. Art and antique stores.
- F. Automobile sales, new vehicles.
- G. Automobile supply stores.
- H. Bakery, food, and dairy product stores.
- I. Banks and other lending institutions.
- J. Barber and beauty shops.
- K. Coffee, candy, florist, tobacco and health food stores.
- L. Department, drug and appliance stores.
- M. Fire and police stations.
- N. Florists, travel bureaus, printing shops,
- O. Food stores, delicatessens, meat markets, convenience stores, and health stores.
- P. Gift shops, hobby supply stores, toy stores, stationary shops and pet stores.
- Q. Hotels and motels.
- R. Hardware stores, locksmiths and sporting goods stores
- S. Liquor and tobacco stores, newsstands and magazine stores, and messenger offices.
- T. Medical buildings.
- U. Private clubs, meeting halls, and senior housing.
- V. Restaurants, ice cream parlors, sandwich shops, and outdoor cafes.
- W. Apartments behind or above permitted uses in accordance with the RM-2 zone district.

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- X. Incidental and accessory structures located on the same site as a permitted or conditional use.
- Y. Other uses added by the Planning Director consistent with Chapter 17.02 General Provisions.

**17.24.03 Conditional Uses**

- A. Bus depots and transit stations.
- B. City, county, state and federal administrative offices and libraries.
- C. Card rooms, pool halls, bars, cocktail lounges and night clubs.
- D. Drive-in restaurants.
- E. Upholstery shops.
- F. Electrical, gas or utility sub-stations; above ground water tanks, or pumping stations.
- G. Service stations.
- H. Pool halls or card rooms.
- I. Second-hand stores.
- J. Auction houses.
- K. Bars, cocktail lounges, and night clubs.
- L. Car washes, automated and self-service.
- M. Other uses added by the Planning Director consistent with Chapter 17.02 General Provisions.

**17.24.04 Prohibited Uses**

- A. Adult book stores
- B. Marijuana dispensaries.
- C. Sexually-oriented businesses.

**17.24.05 Site Plan Review**

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

**17.24.06 Development Standards**

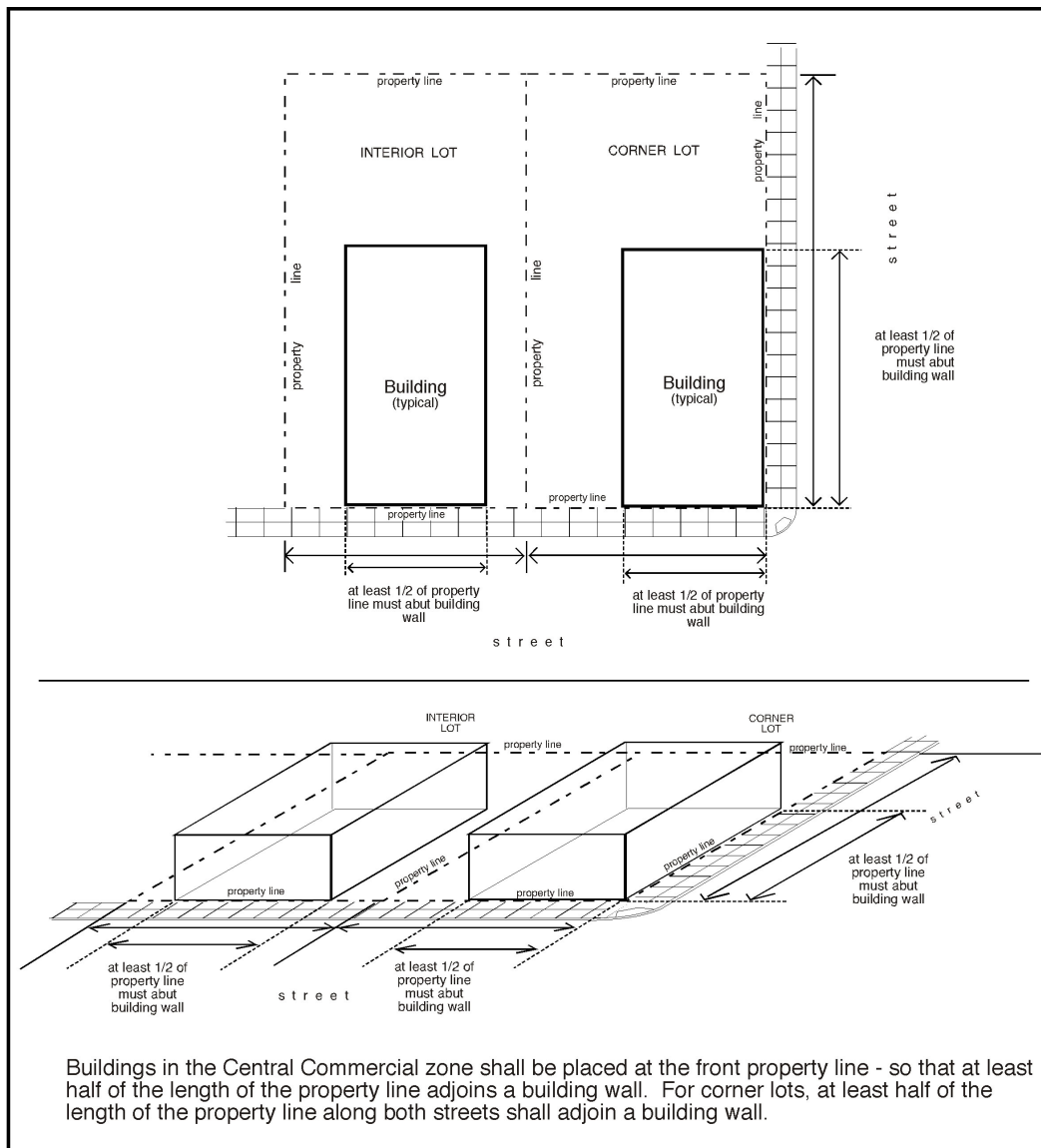
- A. Site Area: No requirements
- B. Lot Frontage and Depth
  - 1. Lot frontage: No requirement.
  - 2. Depth: No requirement.
- C. Building Height: 45 feet
- D. Yards
  - 1. Front yard: New buildings shall be placed so that at least one half of the property line along a public street shall adjoin a building wall (see Exhibit 24-1).
  - 2. Side wall: None required except that buildings on corner lots shall be placed so that at least half of the side lot line along a public street shall adjoin a building wall (see Exhibit 24-1).
  - 3. Rear yard: None required.

**17.24.07 Off-Street Parking and Loading Facilities**

- A. Uses in the C-C District shall provide off-street parking consistent with Chapter 17.76 Parking and Loading.
- B. Parking lots shall be separated from buildings by raised sidewalks or curbing.
- C. Parking lots shall be designed to accommodate solid waste pick-up.
- D. Parking lots shall be located to the side or rear of new buildings constructed in the C-C district.

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Exhibit 24-1: *Yard Requirements*



**17.24.08 Signs**

Signs shall be consistent with the requirements detailed in Chapter 17.74 Signs.

**17.24.09 Landscaping**

Landscaping can be provided in containers that are located in the front of a store front. A minimum of five feet of sidewalk shall remain open and clear for pedestrian passage.

**17.24.10 Design Standards**

Development shall be consistent with the design guidelines in Chapter 17.44 Downtown Design Overlay District.

**17.24.11 Special Conditions**

- A. All processes, businesses and services shall be conducted entirely within a completely enclosed structure, except for off-street parking and off-street loading areas, gasoline sales, outdoor dining areas, nurseries, Christmas tree sales lot, bus depots, and public utility stations.
- B. No use shall be permitted, and no processes, equipment, or materials shall be used which are found to be injurious to persons living or working in the vicinity by reasons of odor, fumes, dust, smoke, cinders, dirt, refuse, water-carried waste, noise, vibration, illumination, glare of unsightliness or to involve any hazard of fire or explosion.