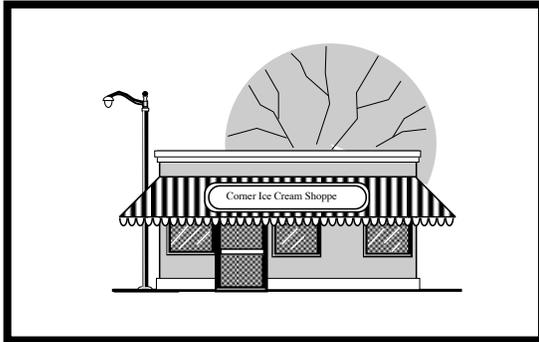


CHAPTER 22



Neighborhood Commercial (CN)

Sections

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17.22.01 Purpose

The purpose of the Neighborhood Commercial district is to provide for the development of small scale, low intensity commercial uses that serve the daily needs of residential neighborhoods that are in close proximity to the shopping center. The design of neighborhood commercial centers shall be of a scale and design that is compatible with the surrounding residential neighborhoods. In addition, the design of the center should provide for pedestrian access from surrounding neighborhoods.

The types of permitted and conditional uses that would be allowed in a neighborhood commercial center would be limited to uses that local residents would require on a daily basis including small scale grocery stores, barber and beauty shops, clothes cleaning establishments, banks, restaurants, etc.

17.22.02 Permitted Uses

The following uses are permitted in the CN district.

- A. Professional offices
- B. Retail stores and service establishments that supply commodities or services that meet the convenience needs of residents from one or more neighborhoods.
- C. Bakery.
- D. Bank.
- E. Barber and beauty shops.
- F. Drug stores.
- G. Dry cleaning establishments.
- H. Gift shops.
- I. Medical clinics.
- J. Food stores, delicatessens, and convenience stores.
- K. Newsstand and magazine stores.
- L. Restaurants.
- M. Self-service laundry and dry cleaning establishments.
- N. Drainage basins, water well sites, and utility facilities, including electrical substations, elevated pressure tanks, and communication equipment buildings.
- O. Other uses that are added to this list by the Planning Director consistent with Chapter 17.02 General Provisions.

17.22.03 Conditional Uses

The following conditional uses may be permitted in accordance with the provisions of Chapter 17.52 Conditional Use Permits.

- A. Churches and other religious institutions.

- B. Cafes and restaurants serving alcoholic beverages.
- C. City, county, state or federal administrative offices, libraries, police and fires stations.
- D. Single-family dwellings; provided, that such dwellings are for the exclusive use of the person or persons owning or operating the commercial use on the same site; and further provided, that each site so used shall be subject to the use, site area, coverage and yard requirements of the RM-2 district.
- E. Single family dwellings; provided, that the dwelling is a reconstruction or an addition to an existing dwelling.

17.22.04 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

17.22.05 Development Standards (see also Exhibit 22-1)

A. Site Area

The minimum parcel size shall be 6,000 square feet and the maximum parcel size shall be three acres.

B. Lot Frontage and Depth

No requirement.

C. Building Height

The maximum height of commercial structures shall be 35 feet; the maximum height of accessory structures shall be 15 feet.

D. Yards

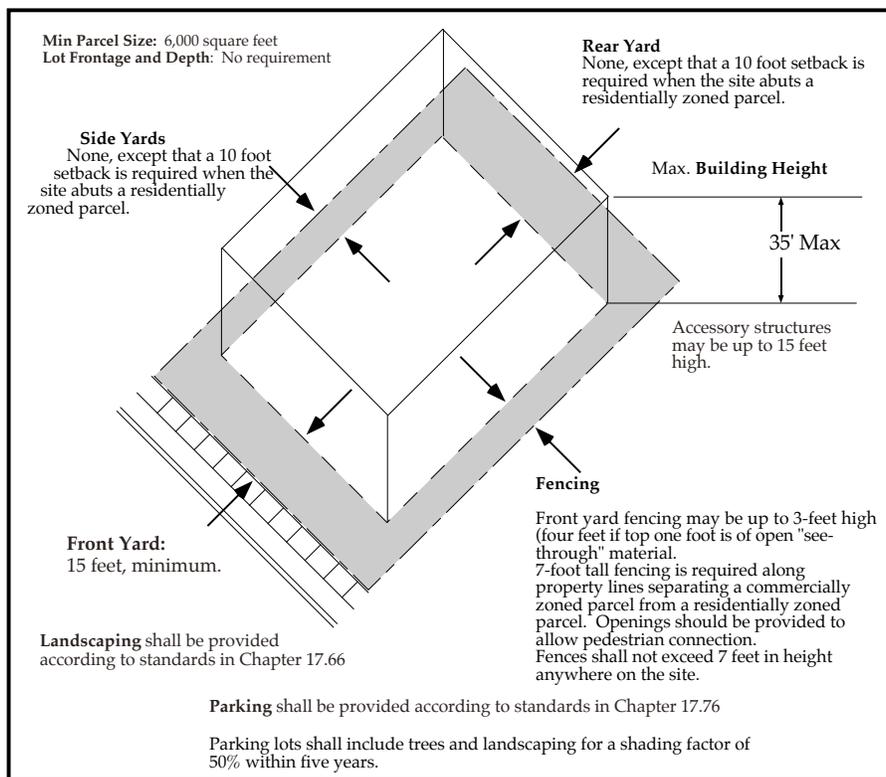
1. Front: 15 feet

2. Side: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet.

3. Rear: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet.

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Exhibit 22-1: *CN Zone Development Standards*



17.22.06 Fences, Walls and Hedges

- A. Front Yards: Fences, walls and hedges shall not exceed three feet in height. A fence or wall may be four feet in height if more than 50 percent of the structure is see-through.
- B. Rear and Side Yards: Fences, walls, and hedges shall not exceed seven feet in height along any side or rear property line.
- C. Where the neighborhood shopping center abuts a residential district, a 7-foot solid block wall shall be constructed between the two uses. Where appropriate, openings should be provided to allow pedestrians to travel between the two uses.

17.22.07 Off-Street Parking and Loading Facilities

- A. Uses in the CN District shall provide off-street parking consistent with Chapter 17.76 Parking and Loading.

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- B. Parking lots constructed in CN district shall be designed and constructed so that within five years of construction, 50 percent of the parking lot is shaded by trees.
- C. Parking lots shall be separated from buildings by raised sidewalks or curbing.
- D. Parking lots for uses that require a large number of parking stalls should be divided into a series of connected parking lots.
- E. Parking lots shall be designed to accommodate solid waste pick-up.

17.22.08 Signs

Signs shall be consistent with the requirements detailed in Chapter 17.74 Signs.

17.22.09 Landscaping

- A. A landscaping and irrigation plan shall be submitted on all neighborhood commercial shopping centers to the Planning Director for review and approval. If the landscaping area exceeds 2,500 square feet, the landscaping and irrigation plan shall comply with the regulations contained in Chapter 17.66 Landscaping, Irrigation and Grading.
- B. The landscaping and irrigation plan shall show a tree-planting scheme in the parking lot that will result in 50 percent of the parking lot being shaded within five years.
- C. The landscaping and irrigation plan shall provide for a minimal amount of turf and shall incorporate a variety of xerophytic plants.
- D. Parking lots should be screened from adjacent public roadways by low walls and/or hedges.
- E. Vines and climbing plants should be used on buildings, trellises and perimeter garden walls in order to soften the appearance on the buildings.
- F. All trash enclosures shall be bounded by a 6-foot solid block wall and shall be covered by a trellis system. The gate shall be metal.

17.22.10 Design Standards

- A. Large buildings shall be designed to avoid the appearance of a box-like structure.
- B. Roof lines should not run in a continuous plane for more than 50 feet without offsetting or jogging the roof line.

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- C. Wall planes should not run for more than 50 feet without a change in plane, color or material.
- D. Where appropriate, the use of awnings is encouraged.
- E. The scale, appearance, architectural style, height, and building materials of surrounding residential neighborhoods should be given consideration when the neighborhood commercial buildings are being designed.