

CHAPTER 21



MU Zone (Mixed Use)

Sections

- 17.21.01 Purpose**
- 17.22.02 Application**
- 17.21.03 Conditional Uses**
- 17.21.04 Site Plan Review**
- 17.21.05 Development Standards**
- 17.21.06 Fences, Walls and Hedges**
- 17.21.07 Off-Street Parking and Loading Facilities**
- 17.21.08 Signs**
- 17.21.09 Landscaping**
- 17.21.10 Design Standards**

17.21.01 Purpose

The purpose of the Mixed Use (MU) district is to implement the goals and policies of the Woodlake General Plan, Land Use Element. The MU district is intended to allow for a combination of residential, office and commercial uses. The district does not permit service commercial or industrial uses given that these land use categories can create noise, odor, vibration, visual and traffic impacts that would adversely impact adjoining uses in the mixed use project.

17.21.02 Application

All projects proposed for the MU district shall be processed through Woodlake's conditional use permit process detailed in Chapter 17.52 Conditional Use Permits. All use permit applications shall be accompanied by a project master plan the requirements of which are described in Section 17.21.09 of this chapter.

17.21.03 Conditional Uses

Any combination of uses listed as a permitted or conditional use in the following zone districts: R-1, RM-2, RM-3, CN, PO or CC.

17.21.04 Site Plan Review

No development shall be constructed on any lot or site in this district until a site plan has been submitted and approved consistent with Chapter 17.56 Site Plan Review.

17.21.05 Development Standards

The following development standards together with applicable standards contained in a combining district, if applicable, shall apply to all land and structures within this district. Development standards are illustrated in Exhibit 21-1.

A. Site Area

The minimum parcel size shall be 5,000 square feet.

B. Lot Frontage and Depth

No requirement.

C. Building Height

The maximum height of commercial structures shall be 35 feet.

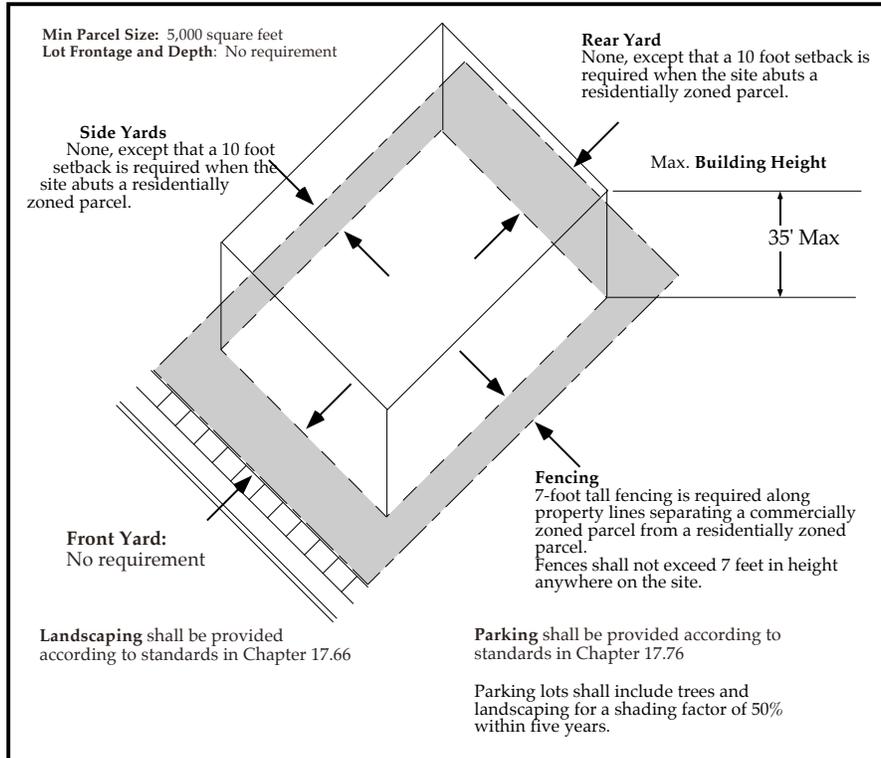
D. Yards

1. Front: No requirement.

2. Side: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet.

3. Rear: No requirement unless the subject property abuts a residential district, wherein the minimum side yard shall be 10 feet.

Exhibit 21-1: MU Zone Standards



17.21.06 Fences, Walls and Hedges

- A. Where a mixed-use development abuts a residential district, a 7-foot solid block wall shall be constructed between the two uses.
- B. Rear and Side Yards: Fences, walls, and hedges shall not exceed seven feet in height along any side or rear property line.

17.21.07 Off-Street Parking and Loading Facilities

- A. Uses in the MU District shall provide off-street parking consistent with Chapter 17.76 Parking and Loading.
- B. Parking lots constructed in MU district shall be designed and constructed so that within five years of construction, 50 percent of the parking lot is shaded by trees.
- C. Parking lots shall be separated from buildings by raised sidewalks or curbing.

- D. Parking lots for uses that require a large number of parking stalls should be divided into a series of connected parking lots.
- E. Parking lots shall be designed to accommodate solid waste pick-up.

17.21.08 Signs

Signs shall be consistent with the requirements detailed in Chapter 17.74 Signs.

17.21.09 Landscaping

- A. A landscaping and irrigation plan shall be submitted on all neighborhood commercial shopping centers to the Planning Director for review and approval. If the landscaping area exceeds 2,500 square feet, the landscaping and irrigation plan shall comply with the regulations contained in Chapter 17.66 Landscaping, Irrigation and Grading.
- B. The landscaping and irrigation plan shall show a tree-planting scheme in the parking lot that will result in 50 percent of the parking lot being shaded within five years.
- C. The landscaping and irrigation plan shall provide for a minimal amount of turf and shall incorporate a variety of xerophytic plants.
- D. Parking lots should be screened from adjacent public roadways by low walls and/or hedges.
- E. Vines and climbing plants should be used on buildings, trellises and perimeter garden walls in order to soften the appearance on the buildings.
- F. All trash enclosures shall be sounded by a 6-foot solid block wall and shall be covered by a trellis system. The gate shall be metal.

17.21.10 Design Standards

- A. Large buildings shall be designed to avoid the appearance of a box-like structure.
- B. Roof lines should not run in a continuous plane for more than 50 feet without offsetting or jogging the roof line.
- C. Wall planes should not run for more than 50 feet without a change in plane, color or material.
- D. Where appropriate, the use of awnings is encouraged.

Woodlake Zoning Ordinance
Chapter 21: MU Zone (Mixed Use)

- E. The scale, appearance, architectural style, height, and building materials of surrounding residential neighborhoods should be given consideration when the neighborhood commercial buildings are being designed.