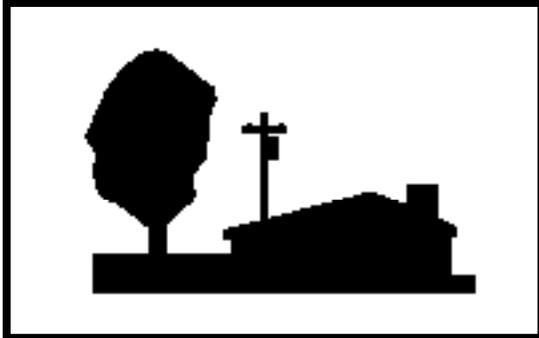


CHAPTER 14



“RA” Rural Residential Zone

Sections

17.14.01	Purpose
17.14.02	Permitted Uses
17.14.03	Accessory Uses
17.14.04	Conditional Uses
17.14.05	Development Standards
17.14.06	Design Standards

17.14.01 Purpose

The purpose of the Rural Residential (RA) District is to provide residential living areas which combine certain advantages of both urban and rural locations at very low residential densities.

17.14.02 Permitted Uses

- A. Single-family dwellings.
- B. The raising of crops, livestock and horticultural specialties. Livestock shall not exceed two animal units per acre.
- C. Home occupations subject to the requirements detailed in Chapter 17.70 Special Uses.
- D. Second residential units consistent with Chapter 17.70 Special Uses.
- E. Small day care homes (eight or fewer children) consistent with Chapter 17.70 Special Uses.

- F. Manufactured homes subject to design standards contained in Chapter 17.16 Single Family Residential.

17.14.03 Accessory Uses

- A. Incidental and accessory structures and uses located on the same site as the permitted use including barns, stables, storage tanks, windmills, silos, and other outbuildings; private garages and carports; agricultural storehouses, garden structures, greenhouses; and recreation rooms, hobby shops and swimming pools. Development standards for some of these accessory structures are provided in Chapter 17.70 Special Uses.
- B. Temporary subdivision sales office and signs consistent with Chapter 17.74 Signs.

17.14.04 Conditional Uses

- A. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, nonprofit schools and colleges; churches and other religious institutions.
- B. Public and private charitable institutions, hospitals, convalescent homes, sanitariums, or rest homes for mental, drug or alcoholic cases.
- C. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations and other public buildings; and public playgrounds, parks, and community centers.
- D. Private noncommercial clubs and lodges.
- E. Large day care homes consistent with Chapter 17.70 Special Uses.
- F. Roadside stands for the sale of agricultural products grown on the premises.
- G. Other uses when determined to be similar by the Planning Director.

17.14.05 Development Standards

- A. Site Area

The minimum parcel size shall be 20,000 square feet.

B. Lot Frontage and Depth

Each parcel shall not have less than 100 feet of frontage on a public street. The minimum depth of each parcel shall be 125 feet.

C. Building Height

1. Residential building: 35 feet
2. Garage: 15 feet
3. Accessory structure: 75 feet

D. Lot Coverage

The maximum site area covered by structures shall be forty percent.

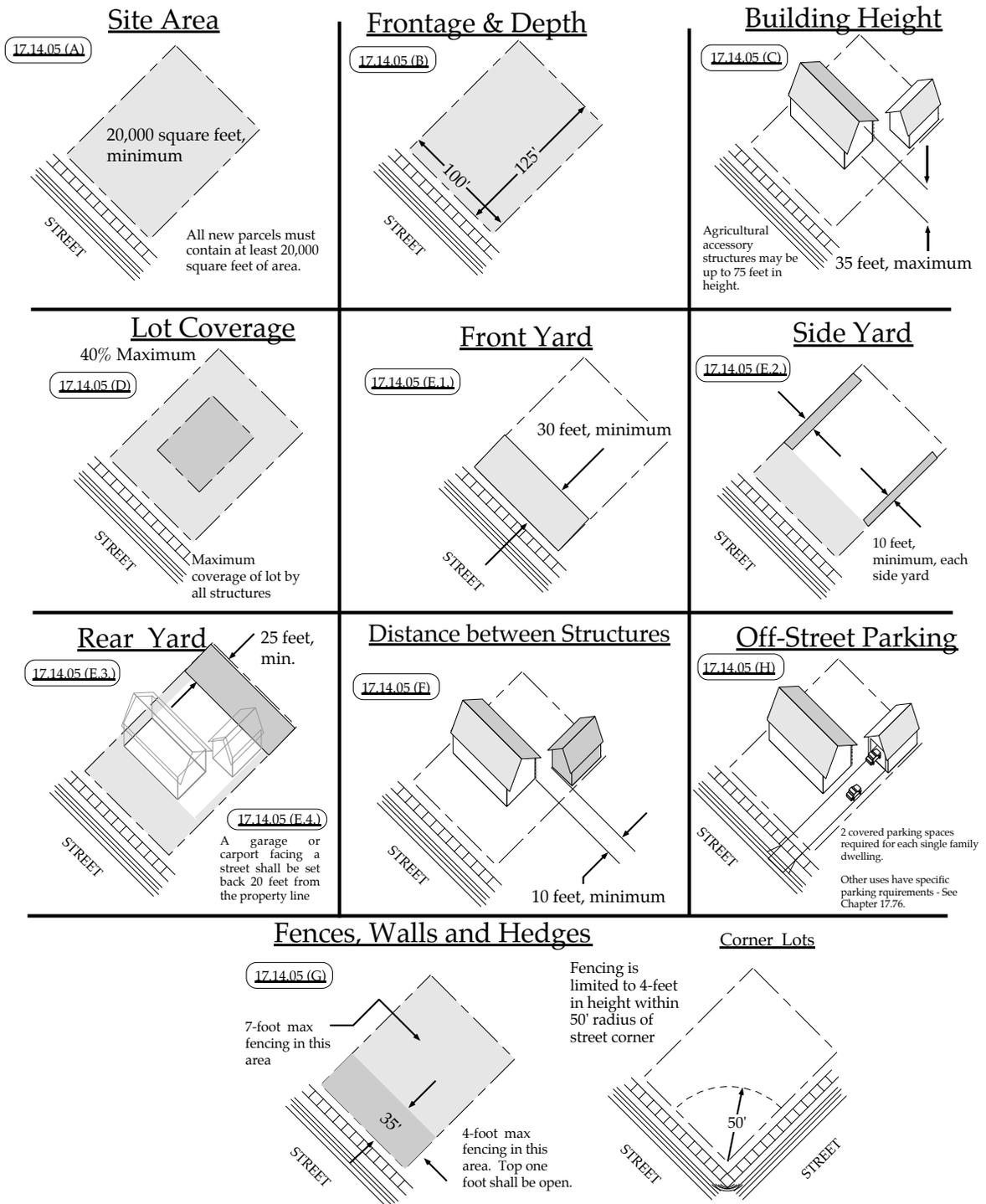
E. Yards

1. Front Yard: 30 feet
2. Side Yard: 10 feet. For corner and reverse corner lots, the side yard adjoining the street shall be one-half of the required front yard.
3. Rear Yard: 25 feet
4. Garage/Carport Setback: A garage or carport that faces a public street shall be set back a minimum of 20 feet from the back of sidewalk or property line, whichever distance is greater.
5. Exceptions:
 - a. Architectural features, including eaves, sills, chimneys, cornices, and bay windows may extend up to 30 inches into a required side yard.
 - b. Uncovered, unenclosed porches, platforms or landings that do not extend above the first floor elevation may extend a maximum of six feet into a front or rear yard setback area. Railings up to 30 inches in height may be installed on any of these features.

F. Distances Between Structures

The minimum distance between a residential dwelling and another structure on the same lot shall be ten feet.

Figure 14-1 • R-A Zone Development Standards



G. Fences, Walls and Hedges

1. Front Yards: Fences, walls and hedges shall not exceed three feet in height. A fence or wall may be four feet in height if more than 50 percent of the structure is see-through.
2. Rear and Side Yards: Fences, walls, and hedges shall not exceed seven feet in height along any side or rear property line.

H. Off-Street Parking and Loading Facilities

1. For single family dwellings, a minimum of two covered parking stalls shall be required. Each space shall have a minimum width of 10 feet and a minimum depth of 20 feet. All parking spaces and driveways shall have a concrete or asphalt surface. Where a carport or garage is open to a public street, a driveway of at least 20 feet shall be provided between the face of the garage and the back of sidewalk or property line, whichever distance is greater. The maximum size of a garage shall be
2. Non-residential uses in this shall provide off-street parking consistent with Chapter 17.76 Parking and Loading.

I. Signs

Signs shall be consistent with the requirements detailed in Chapter 17.74 Signs.

17.14.06 Design Standards

The following standards shall apply to all single family dwellings, including manufactured and mobile homes, that are constructed in the RA district.

- A. The minimum width of a single family dwelling or a manufactured or mobile home shall be 20 feet.
- B. Mobile homes must be certified under the National Manufactured Home Construction and Safety Act of 1974.
- C. All residential dwellings shall be attached to a permanent foundation.
- D. The roofs of all residential dwellings shall be composed of composition shingles, ceramic tiles, metal or wood shakes or shingles. The pitch of the roof shall not be less than three inches of vertical rise over 12 inches of horizontal run. The roof overhang shall not be less than 12 inches around the building perimeter.

Woodlake Zoning Ordinance
Chapter 14: "RA" Zone (Rural Residential)

- E. The exterior siding of all residential dwellings shall be composed of wood, masonry, plaster, or metal sheathing.
- F. Siding shall extend to the ground, except when a solid concrete or masonry perimeter foundation or retaining wall is used in which case the siding material need only extend to the top of the foundation or wall.
- G. The maximum area of a garage shall be 900 square feet; the maximum width of garage shall be 30 feet.