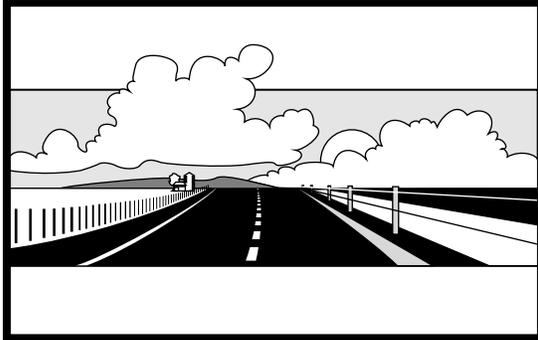


CHAPTER 12



UR Zone (Urban Reserve)

Sections

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17.12.01 Purpose

The purpose of the Urban Reserve (UR) District is to preserve undeveloped land, including agricultural lands, within the city limits of Woodlake as open space until such time as the conversion to an urban use is determined to be appropriate and feasible.

17.12.02 Permitted Uses

- A. Single-family dwellings.
- B. The raising of crops, livestock and horticultural specialties.
- C. Home occupations subject to the requirements detailed in Chapter 17.70 Special Uses.
- D. Mobile homes subject to design standards contained in Chapter 17.16 Single Family Residential.
- E. Second residential units subject to the requirements contained in Chapter 17.70 Special Uses.

17.12.03 Accessory Uses

Incidental and accessory structures and uses located on the same site as the permitted use including barns, stables, storage tanks, windmills, silos, and other outbuildings; private garages and carports; agricultural storehouses, garden structures, greenhouses; and recreation rooms, hobby shops and swimming pools. Development standards for some of the accessory structures are provided in Chapter 17.70 Special Uses.

17.12.04 Conditional Uses

- A. Fruit stands
- B. Retail plant nurseries.
- C. Other uses when determined to be similar by the Planning Director.

17.12.05 Development Standards (see Exhibit 12-1 for illustration of selected standards)

A. Site Area

The minimum parcel size shall be 20 acres.

B. Lot Frontage and Depth

Each parcel shall not have less than 100 feet of frontage on a public street. There shall be no requirement for parcel depth.

C. Building Height

The maximum height of residential structures shall be 35 feet; the maximum height of agricultural accessory structures shall be 75 feet.

D. Lot Coverage

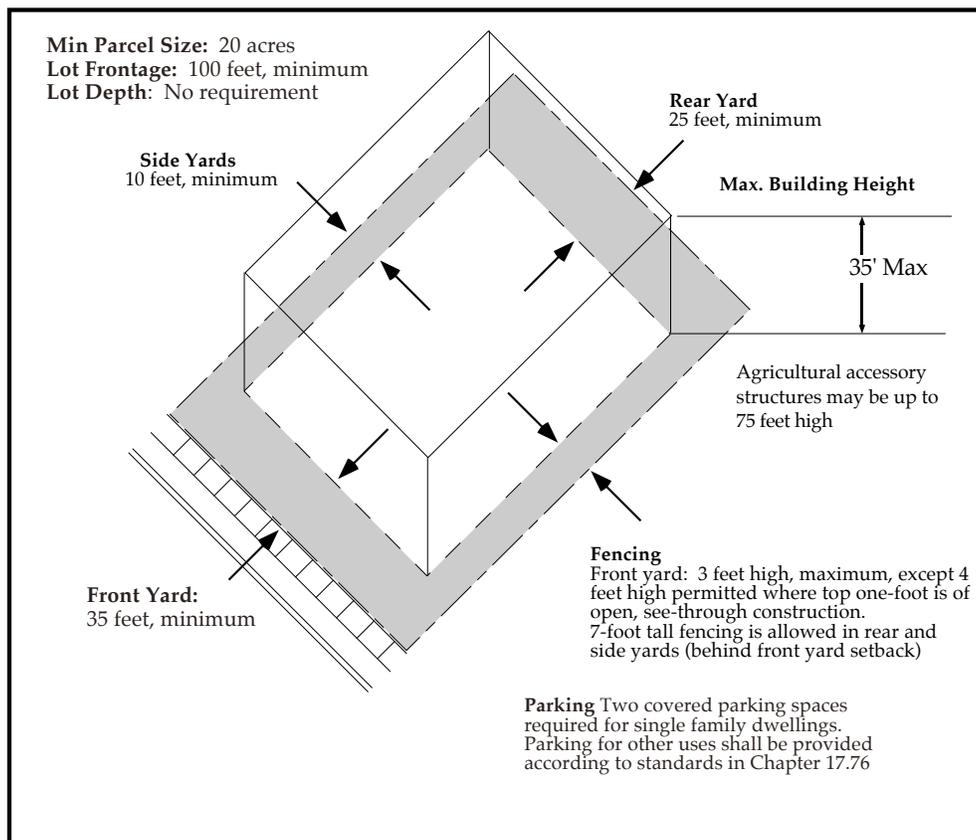
No requirement.

E. Yards

- 1. Front Yard: 35 feet
- 2. Side Yard: 10 feet

3. Rear Yard: 25 feet

Exhibit 12-1: Selected Zoning Standards



F. Fences, Walls and Hedges

1. Front Yards: Fences, walls and hedges shall not exceed three feet in height. A fence or wall may be four feet in height if more than 50 percent of the structure is see-through.
2. Rear and Side Yards: Fences, walls, and hedges shall not exceed seven feet in height along any side or rear property line.

G. Off-Street Parking and Loading Facilities

1. For single family dwellings, a minimum of two covered parking stalls shall be required. Each space shall have a minimum width of 10 feet and a minimum depth of 20 feet. All parking spaces and driveways shall have a concrete or asphalt surface. Where a carport or garage is open to a public

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street, a driveway of at least 20 feet shall be provided between the face of the garage and the back of sidewalk or property line, whichever distance is greater.

2. Non-residential uses in this shall provide off-street parking consistent with Chapter 17.76 Parking and Loading.

H. Signs

Signs shall be consistent with the requirements detailed in Chapter 17.74 Signs.